



**TOWN OF LAKE PARK
LOCAL PLANNING AGENCY
MEETING AGENDA
JULY 11, 2016
7:00 P.M.
535 PARK AVENUE
LAKE PARK, FLORIDA**

PLEASE TAKE NOTICE AND BE ADVISED: If any interested person desires to appeal any decision of the Local Planning Agency with respect to any matter considered at the Meeting, such interested person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons with disabilities requiring accommodations in order to participate in the meeting should contact the Town Clerk's Office by calling 561-881-3311 at least 48 hours in advance to request accommodations.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

Judith Thomas, Chair	<input type="checkbox"/>
Martin Schneider, Vice-Chair	<input type="checkbox"/>
Anthony Bontrager	<input type="checkbox"/>
Lanae Barnes	<input type="checkbox"/>

APPROVAL OF AGENDA

APPROVAL OF MINUTES

- Local Planning Agency Meeting of May 4, 2015

PUBLIC COMMENTS: Any person wishing to speak on an agenda item is asked to complete a Public Comment Card located in the rear of the Commission Chambers, and give it to the Recording Secretary. Cards must be submitted before the item is discussed.

ORDER OF BUSINESS: The normal order of business for Hearings on agenda items is as follows:

- Staff presentation
- Applicant presentation, if applicable
- Board Member questions of Staff and Applicant
- Public comments – 3 minute limit per speaker
- Rebuttal or closing arguments for quasi-judicial items

- Motion on floor
- Vote of Board

NEW BUSINESS

- 1) **COMPREHENSIVE PLAN CAPACITY ANALYSIS AND FUTURE LAND USE ELEMENT POLICY MODIFICATIONS FOR THE COMMERCIAL/RESIDENTIAL LAND USE DESIGNATION**
- 2) **PROPOSED LAND DEVELOPMENT REGULATIONS FOR THE CREATION OF A MIXED-USE ZONING OVERLAY DISTRICT AND DETERMINATION OF CONSISTENCY WITH THE COMPREHENSIVE PLAN**

ADJOURNMENT

TOWN OF LAKE PARK PLANNING & ZONING BOARD MEETING AGENDA

JULY 11, 2016

*Immediately Following the
Local Planning Agency Meeting*

CALL TO ORDER

ROLL CALL

Judith Thomas, Chair	<input type="checkbox"/>
Martin Schneider, Vice-Chair	<input type="checkbox"/>
Anthony Bontrager	<input type="checkbox"/>
Lanae Barnes	<input type="checkbox"/>

APPROVAL OF AGENDA

APPROVAL OF MINUTES

- Planning & Zoning Board Meeting Minutes of June 6, 2016

PUBLIC COMMENTS

Any person wishing to speak on an agenda item is asked to complete a Public Comment Card located in the rear of the Commission Chambers, and provide it to the Recording Secretary. Cards must be submitted before the agenda item is discussed.

ORDER OF BUSINESS

The normal order of business for Hearings on agenda items is as follows:

- Staff presentation
- Applicant presentation (when applicable)
- Board Member questions of Staff and Applicant
- Public Comments – 3 minute limit per speaker
- Rebuttal or closing arguments for quasi-judicial items
- Motion on floor
- Vote of Board

NEW BUSINESS

- 1) **COMPREHENSIVE PLAN CAPACITY ANALYSIS AND FUTURE LAND USE ELEMENT POLICY MODIFICATIONS FOR THE COMMERCIAL/RESIDENTIAL LAND USE DESIGNATION**
- 2) **PROPOSED LAND DEVELOPMENT REGULATIONS FOR THE CREATION OF A MIXED-USE ZONING OVERLAY DISTRICT AND DETERMINATION OF CONSISTENCY WITH THE COMPREHENSIVE PLAN**

COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

ADJOURNMENT

THE NEXT REGULARLY SCHEDULED PLANNING & ZONING BOARD MEETING IS MONDAY, AUGUST 1, 2016, AT 7:00 P.M.



**TOWN OF LAKE PARK
LOCAL PLANNING AGENCY
MEETING MINUTES
MAY 4, 2015**

CALL TO ORDER

The Local Planning Agency Meeting was called to order by Chair Judith Thomas upon the conclusion of the Historical Preservation Board Meeting at 7:24 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

Judith Thomas, Chair	Present
Michele Dubois	Present
Martin Schneider	Present
Ludie Francois	Excused
Anne Lynch, Alternate	Present

Also in attendance were Thomas Baird, Town Attorney; Nadia DiTommaso, Community Development Director; Scott Schultz, Town Planner, and Kimberly Rowley, Recording Secretary.

Chair Thomas requested a motion for approval of the Agenda as submitted. Board Member Schneider made the motion, and it was seconded by Alternate Board Member Lynch. The vote was as follows:

	Aye	Nay
Judith Thomas	X	
Michele Dubois	X	
Martin Schneider	X	
Anne Lynch	X	

The Motion carried 4-0 and the Agenda was approved as submitted.

APPROVAL OF MINUTES

Chair Thomas requested a motion for the approval of the April 6, 2015, Local Planning Agency Minutes as submitted. Board Member Schneider made a motion for approval, and it was seconded by Board Member Dubois. The vote was as follows:

	Aye	Nay
Judith Thomas	X	
Michele Dubois	X	
Martin Schneider	X	
Anne Lynch	X	

The Motion carried 4-0, and the Minutes of the April 6, 2015, Local Planning Agency Meeting were approved as submitted.

PUBLIC COMMENTS

Chair Thomas reviewed the procedure for Public Comments.

ORDER OF BUSINESS

Chair Thomas outlined the Order of Business.

NEW BUSINESS

- 1) A SMALL-SCALE FUTURE LAND USE MAP AMENDMENT FOR A 0.49 ACRE PORTION OF EAST JASMINE DRIVE**

STAFF PRESENTATION

Nadia DiTommaso, Community Development Director, addressed the Local Planning Agency (LPA) Board Members and stated this Application is being brought forth by Earl Stewart Toyota LLC and Commercial Investments LLC. Ms. DiTommaso stated that at the February 2, 2015, and March 2, 2015, Planning & Zoning Board Meetings, the LPA Board Members, sitting as the Planning & Zoning Board, previously considered various components by the Applicant relating to the expansion of the existing dealership. The components, being the site plan presentation and the rezoning for the site, then moved forward to the Town Commission Meeting of April 1, 2015. At the Meeting, the Town Commission continued the items and asked Staff to come back with all of the various components related to the proposed dealership expansion as a "package" at the May 20, 2015, Town Commission Meeting.

Ms. DiTommaso explained that one of the components involves a Future Land Use Map Amendment for a 0.49 acre portion of East Jasmine Drive. She explained the reason this component was left out is because the abandonment had not been approved by the Town Commission, and therefore this item is contingent upon the approval of the abandonment of the right-of-way and the site plan which proposes to expand the boundaries of the PUD by the Town Commission. Ms. DiTommaso presented a visual of the location of the subject property and pointed out the surrounding land uses.

STAFF RECOMMENDATION

Ms. DiTommaso stated that Staff is recommending approval of the Future Land Use Map Amendment for a 0.49 acre portion of East Jasmine Drive from a public right-of-way to a Residential/Commercial Land Use Designation, contingent upon the approval of the abandonment of East Jasmine Drive by the Town Commission.

APPLICANT PRESENTATION

Ms. Anne Booth of Urban Design Kilday Studios addressed the LPA Board Members and stated she is representing the Applicant, Earl Stewart LLC. Ms. Booth stated Ms. DiTommaso gave an excellent presentation and then reviewed the subject 0.49 acre parcel and the surrounding areas. Ms. Booth stated the proposed future land use designation of residential/commercial is consistent with abutting properties to the north and south; is consistent with the commercial zoning and the PUD modification, and is contingent upon the approval of the abandonment of the East Jasmine Drive public right-of-way by the Town Commission.

PUBLIC COMMENTS

There were no public comments.

BOARD DISCUSSION

Chair Thomas asked for comments from the Board. Board Member Schneider questioned the process for approval of the Amendment and the expansion project. Ms. DiTommaso outlined the required steps of the approval process for the Earl Stewart expansion project. Chair Thomas asked if the Agenda would need to be reordered. Chair Thomas questioned if there are maximum/minimum block size requirements. Ms. DiTommaso responded that Town Code does set minimum width and length requirements for residential lots only, as the Land Development Regulations dictate commercial.

PLANNING & ZONING BOARD RECOMMENDATION

There being no further discussion, Chair Thomas requested a motion for the approval of Staff's recommendation. Board Member Schneider made a motion to recommend approval and the motion was seconded by Board Member Dubois, and the vote was as follows:

	Aye	Nay
Judith Thomas		X
Michele Dubois	X	
Martin Schneider	X	
Anne Lynch, Alternate	X	

The Motion carried 3-1 and the Future Land Use Map Amendment for a 0.49 acre portion of East Jasmine Drive from a public right-of-way to a Residential/Commercial Land Use Designation, contingent upon the approval of the abandonment of the East Jasmine Drive by the Town Commission, was approved.

2) TOWN OF LAKE PARK 20-YEAR WATER SUPPLY FACILITIES WORK PLAN UPDATE- AMENDMENTS TO THE COMPREHENSIVE PLAN.

STAFF PRESENTATION

Nadia DiTommaso, Community Development Director, addressed the LPA and stated the 20-Year Water Supply Facilities Work Plan is required to be updated per Florida Statutes. She explained that this Plan and the related Comprehensive Plan Amendments were originally presented to the LPA on April 6, 2015. Ms. DiTommaso explained that while this meeting and the agenda item contents were published on the Town Website and also sent to the intergovernmental agencies through the form of a Clearinghouse Notice, it was not advertised in The Palm Beach Post. Ms. DiTommaso explained that in order to ensure that the public notice requirement has been fully satisfied, Staff is again bringing the item forward to the LPA for approval, this time with an advertisement being placed in The Palm Beach Post.

Ms. DiTommaso stated that upon his follow-up of the April 6th LPA Meeting, Mr. David of the Bell David Planning Group, reached out to Rim Bishop, Executive Director of the Seacoast Utility Authority (SUA), in order to understand the purpose of the SUA's \$88 million dollar Five-Year Capital Improvement Program to replace two lime softening treatment facilities. Mr. Bishop's response is included within the agenda packet for tonight's meeting. Ms. DiTommaso stated that otherwise this agenda item proposal remains the same as presented on April 6, 2015. Following the recommendation of approval by the LPA, the Plan will move forward to the Town Commission on June 3, 2015, for approval - after which it will be transmitted to the State for comments.

STAFF RECOMMENDATION

Ms. DiTommaso stated Staff is recommending approval as in the April 6, 2015, LPA Meeting.

PUBLIC COMMENTS

There were no public comments.

BOARD DISCUSSION

Chair Thomas asked for comments from the Board. Alternate Board Member Lynch stated she is not well informed on this subject since she was not present at the April 6, 2015, LPA Agency Meeting and asked how the Plan will impact the Town. Ms. DiTommaso stated the Plan ensures the Town has sufficient water capacity over a 20-year period, and up-dates are required every five (5) years.

There were no comments from Board Member Dubois.

There were no comments from Board Member Schneider.

Chair Thomas questioned why this item is coming back in front of the LPA again. Ms. DiTommaso reiterated there was a miscommunication regarding public notice being placed in The Palm Beach Post prior to the April 6, 2015, LPA Meeting.

PLANNING & ZONING BOARD RECOMMENDATION

There being no further discussion, Chair Thomas requested a motion for the approval of Staff's recommendation. Board Member Schneider made a motion to recommend approval of the Town of Lake Park 20-Year Water Supply Facilities Work Plan Update, with Amendments to the Comprehensive Plan. The motion was seconded by Board Member Dubois, and the vote was as follows:

	Aye	Nay
Judith Thomas	X	
Michele Dubois	X	
Martin Schneider	X	
Anne Lynch, Alternate	X	

The Motion carried 4-0 and was unanimously approved.

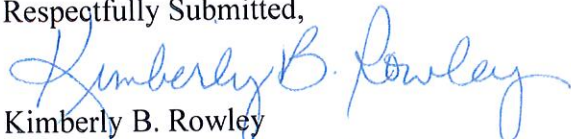
COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

Ms. DiTommaso welcomed Alternate Board Member Anne Lynch.

ADJOURNMENT

There being no further business before the Board, the Meeting was adjourned by Chair Thomas at 7:40 p.m.

Respectfully Submitted,



Kimberly B. Rowley
Planning & Zoning Board Recording Secretary

PLANNING & ZONING BOARD APPROVAL:

Judith Thomas, Chair
Town of Lake Park Planning & Zoning Board

DATE:



**TOWN OF LAKE PARK
PLANNING & ZONING BOARD
MEETING MINUTES
JUNE 6, 2016**

CALL TO ORDER

The Planning & Zoning Board Meeting was called to order by Chair Judith Thomas at 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

Judith Thomas, Chair	Present
Martin Schneider, Vice-Chair	Present
Anthony Bontrager	Present

Also in attendance was Nadia DiTommaso, Community Development Director.

APPROVAL OF AGENDA

Chair Thomas requested a motion for the approval of the Agenda as submitted. Vice-Chair Schneider made a motion for approval, and it was seconded by Board Member Bontrager. The vote was as follows:

	Aye	Nay
Martin Schneider	X	
Judith Thomas	X	
Anthony Bontrager	X	

The Motion carried 3-0, and the Agenda was approved as submitted.

APPROVAL OF MINUTES

Chair Thomas requested a grammatical amendment to the 1st paragraph on Page 14 of the April 4, 2016, Planning & Zoning Board Meeting Minutes, and Vice-Chair Schneider noted typos on Page 13 for correction. Vice-Chair Schneider made a motion for approval of the April 4, 2016, P&Z Board Meeting Minutes, with the noted amendment and typo corrections, and the motion was seconded by Board Member Bontrager. The vote was as follows:

STAFF REPORT

LOCAL PLANNING AGENCY **PLANNING & ZONING BOARD**



STAFF REPORT TO AGENCY/BOARD MEMBERS

LAKE PARK WATERFRONT REVIVAL
"Cherishing the old, bringing in the new"

Mixed-Use Zoning Overlay District - Promoting a sustainable and prosperous future for the
Town of Lake Park through an additional development option.

LOCAL PLANNING AGENCY (LPA):

For the purposes of this agenda item, the Local Planning Agency will be considering those Comprehensive Plan Amendments associated with the proposed mixed-use development option for the US-1 corridor. These include an updated Capacity Analysis identifying the proposed increased densities and intensities along the corridor. As part of this review, the LPA will also be considering the Land Development (zoning) Regulations (LDR) relevant to the Mixed-Use Zoning Overlay to make a finding that these LDR's are consistent with the Comprehensive Plan. Consequently, enclosed is a copy of the proposed Capacity Analysis for the Comprehensive Plan; text amendments to the Future Land Use Element of the Comprehensive Plan; and the Mixed-Use Zoning Overlay LDR's.

→ **Recommended Motion:** *I move to recommend approval to the Planning & Zoning Board on the proposed amendments to the Comprehensive Plan and find that the proposed LDR's are consistent with the Comprehensive Plan.*

PLANNING & ZONING BOARD (P&Z):

Following the recommendation of the LPA, the P&Z Board will need to consider the proposed Comprehensive Plan amendments in your review of the LDR's for the Mixed-Use Zoning Overlay. The P&Z Board will need to make a recommendation on these to the Town Commission.

→ **Recommended Motion:** *I move to recommend approval to the Town Commission on the proposed amendments to the Comprehensive Plan and find that the proposed LDR's are consistent with the Comprehensive Plan.*

HISTORY:

In 2009, the Town's Comprehensive Plan was modified to include a future vision for the US-1 corridor. This vision included the incorporation, in the Future Land Use Element of the Comprehensive Plan, for a mixed-use (Commercial/Residential) land use designation along the US-1 corridor. The Future Land Use Element made this contingent upon the creation of a Mixed-Use Zoning Overlay which would serve to identify those land development regulations associated with any future Mixed-Use development. The intent was to create an additional development option for the corridor, but not to take away any of the existing development rights that straight zoning provides. The purpose of this initiative was to create the potential for additional investment along the corridor which would then serve to diversify our tax-base; increase services and allow for an increase in housing availability so as to create a live, work and play environment along our waterfront. Public workshops that aimed to commence the discussions on the Mixed-Use Zoning Overlay commenced in late 2013 and

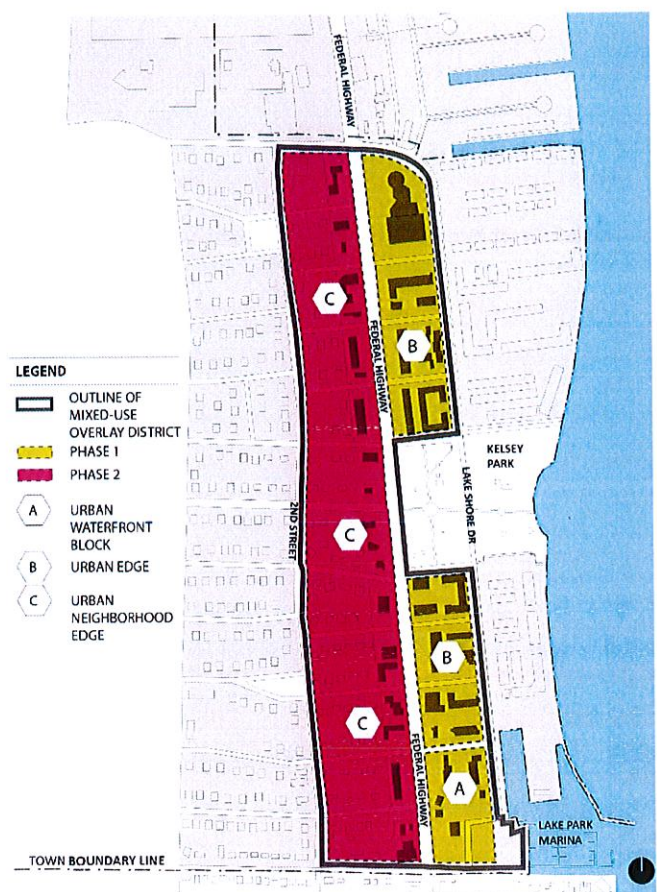
and allow for an increase in housing availability so as to create a live, work and play environment along our waterfront. Public workshops that aimed to commence the discussions on the Mixed-Use Zoning Overlay commenced in late 2013 and resumed in 2015 for which three public workshops have been held in the last 10 months (September 21, 2015; December 9, 2015; and March 1, 2016). Each workshop served to address the comments and suggestions that transpired from the previous workshop.

Since the workshops, the Town discovered the Commercial/Residential land use designation originally which was originally adopted in 2009, actually included all west side parcels extending to 2nd Street. In other words, between Silver Beach Road on the south side and Palmetto Drive on the north side, the Future Land Use map designation of Commercial/Residential, as adopted in 2009, included all parcels west of Federal Highway through to 2nd Street. While making this late discovery was not ideal, it actually creates more opportunity for investment and flexibility in design along the west side of the US-1 corridor. It will however require an additional workshop so as to include those single-family homeowners in the discussion. **Consequently, the initiative has been broken up into TWO PHASES: PHASE 1 will focus more heavily on the east side of the corridor extending from US-1 to Lake Shore Drive; and a (later) PHASE 2 will focus on the west side extending from US-1 to 2nd Street.** The enclosed proposal for the Comprehensive Plan does however address the west of the Corridor by incorporating the proposal of 40 dwelling units per acre with a maximum Floor Area Ratio of 2.5 in order to capture the maximums that have been discussed throughout the many public workshops. This can always be amended later and development will still be contingent upon the future approval of those land development regulations associated with the west side of the corridor.

PROPOSAL:

The enclosed packet includes the following documents:

- (1) Future Land Use Element of the Comprehensive Plan, inclusive of the proposed amendments to certain Policies highlighted in red.
Change the Mixed Use Zoning Overlay District (Commercial/Residential land use designation) development density and intensity standards as follows:
FROM a maximum of 20 units per acre and a maximum FAR of 2.5;
TO a maximum of 40 units per acre and a maximum FAR of 2.5 in the Urban Neighborhood Edge sub district, a maximum of 60 units per acre and a maximum FAR of 4.0 in the Urban Edge sub district, and a maximum of 80 units per acre and a maximum FAR of 6.0 in the Urban Waterfront sub district.
- (2) The proposed Capacity Analysis for the Comprehensive Plan identifying the following three sub-districts for the Mixed-Use Zoning Overlay District and their respective densities and intensities provisions:



(3) The Land Development Regulations associated with the proposed Mixed-Use Zoning Overlay District which include the following breakdown:

- ➔ **Purpose and Background** - *The purpose and intent of the MUZ mixed-use zoning overlay district is to establish a corridor which creates a live, work and play environment which utilize mixed-use development concepts and which permit a combination of usually separated uses within a unified development district area.*
- ➔ **Applicability** - *The mixed-use development provisions shall be utilized in the review of all future mixed-use development proposals for this special planning area as identified in the future land use element of the Town's Comprehensive Plan with a Residential/Commercial land use designation. Compliance with the standards of the MUZ shall be demonstrated by submittal of a site development plan application which includes architectural drawings/elevations and which must adhere to the Town's site plan development approval process as defined by the Town code. The area within the boundaries of the MUZ is divided in three Sub-districts: Urban Neighborhood Edge, Urban Edge, and Urban Waterfront Block.*
- ➔ **Conflicts** - *Where conflicts exist between the mixed-use zoning overlay district special regulations in this section and other applicable sections of the Town Code, the special regulations in this section shall apply.*
- ➔ **General requirements and special regulations** – *Location restrictions within the boundaries of the corridor; roadway access requirements; unity of title; building height restrictions;*
- ➔ **Site plan review** - *In adherence to Chapter 78 of the Town Code, all mixed-use proposals will be considered development proposals and subject to the site plan approval process requiring Planning & Zoning Board review and Town Commission approval.*
- ➔ **Urban design principles** – *principles relevant to mixed-use developments that will be used in their review*
- ➔ **Urban design objectives** – *objectives relevant to mixed-use developments that will be used in their review*
- ➔ **Permitted uses** - *Permitted uses in the MUZ overlay district shall include those uses that are permitted in the underlying zoning district regulations, including those accessory uses that are customarily incidental to the primary uses they serve. In addition, a combination of different residential-type uses. Additional guidelines and restrictions are also included in this section. Staff is currently working through a Code overhaul process that includes modernizing our district uses. The associated underlying zoning districts can ideally be revamped in advance.*
- ➔ **Property development standards** - *Parking requirements; Drainage of streets and rights-of-way; Landscaping; Open Spaces and Recreation Areas; Lighting; Walls/Fences; Signage; Setbacks/Build-to Requirements; Architectural Guidelines; and Building Placement Standards - Existing 'straight' zoning only allows up to 2 stories of redevelopment without the ability to combine commercial and residential and significant 15-foot wide landscape buffers for all property lines adjacent to streets. Additionally, the parking allocations for mixed-use have been made to be more flexible for certain uses and for the combination of uses. All these flexibilities are considered incentives and will be presented more in detail at the public hearings.*
- ➔ **Transfer of Development Rights** – *Preserving historically-significant property along the corridor while allowing the transfer of certain development rights from these historically-significant properties to other properties to further promote the redevelopment of the receiver sites.*

(4) A copy of the "Hypothetical-Projected" Economic Impact Analysis that the Community Development Department prepared for the Town Manager's Office in February 2016 which identifies the positive economic impact that Mixed-Use development will bring to the Town. This was done to illustrate how important the Lake Shore Drive funding for the drainage improvements is for the Town in order to better market this initiative and promote development, which will in turn serve as an economic boost not only the Town, but the neighboring areas as well. **NOTE: THIS IS ONLY BEING PROVIDED FOR COMPARATIVE PURPOSES SINCE CERTAIN FACTORS INCLUDED IN THE FINAL MIXED-USE ZONING OVERLAY DOCUMENT HAVE BEEN MODIFIED SINCE FEBRUARY 2016 AND MAY NOT BE CONSISTENT. THE FINAL ZONING PACKET OVERRIDES ANY INCONSISTENCIES FOUND IN THIS ECONOMIC IMPACT DOCUMENT.**

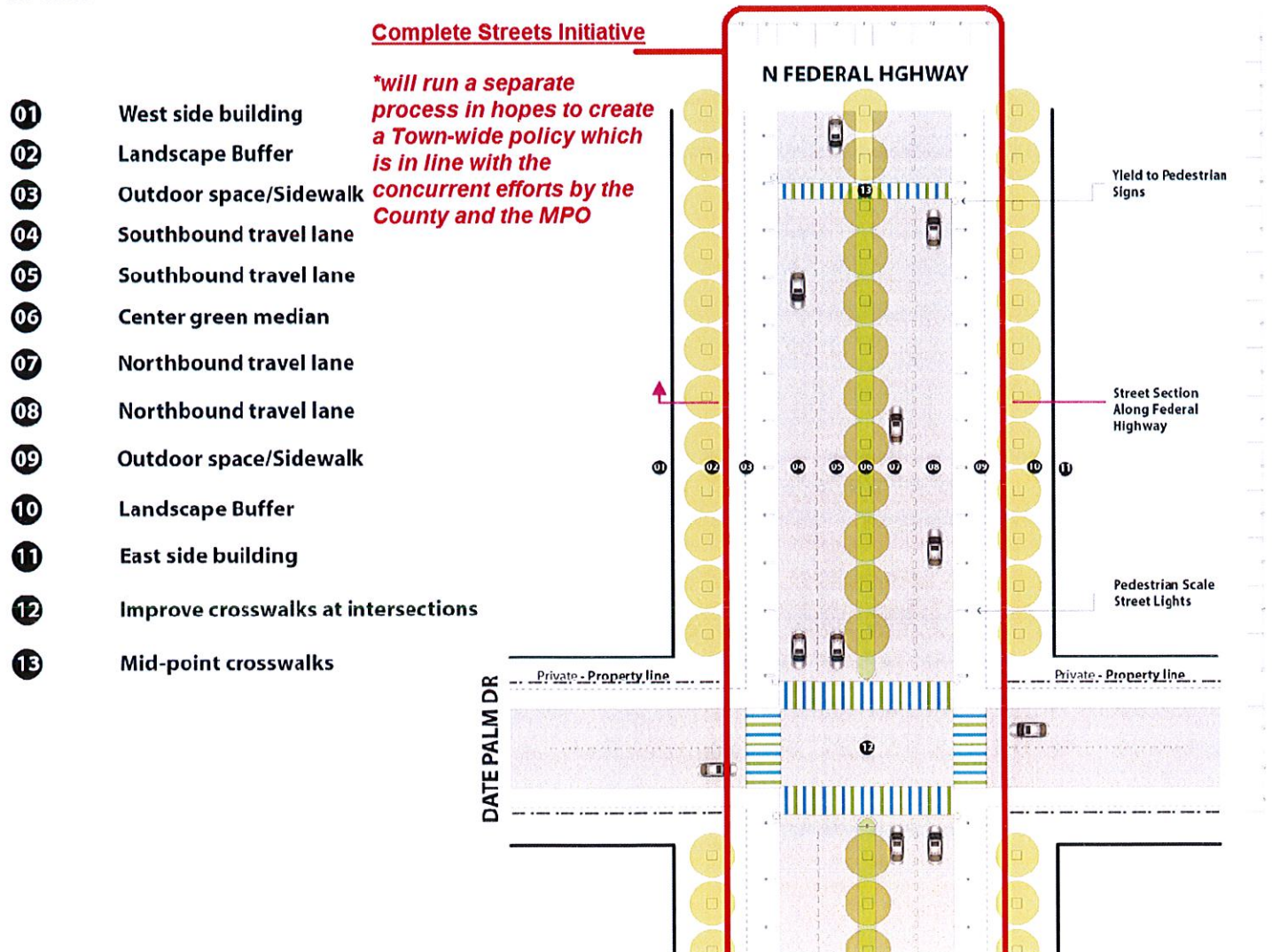
INCENTIVES:

This mixed-use development option incentivizes development in a few ways namely, it provides for an increase in the allowable units and nonresidential square footage that can be built (existing code only allows up to 2 stories, a maximum FAR of 2.5 and a maximum of 20 dwelling units per acre); and it provides for the transfer of development rights that serve to protect historically-significant property along the corridor, while allowing for certain development increases on the receiving property. Staff understands that development on smaller parcels will be more challenging and the maximums may not be possible for smaller parcels however, increases can still be accommodated given the flexibility of the standards which provide for decreased landscape buffers and decreased parking for certain uses, along with the option for a shared parking scenario.

If effectively applied to a mixed-use development, this development option will also serve to improve the infrastructure on existing parcels and mitigate some of the existing Lake Shore Drive drainage problems by virtue of the fact that all new development/redevelopment will need to adhere to the South Florida Water Management standards for 100% retention of runoff onsite thereby alleviating some of the existing strains to the current system on Lake Shore Drive.

COMPLETE STREETS INITIATIVE:

There are several components to a complete street, with a basic layout consisting of sidewalks, curb/gutter, vehicle travel lanes and a center landscape median that is wide enough to accommodate any (future) required turn lanes. The Town will be considering a Town-wide policy promote our livability, walkability and bike-ability. A future workshop will need to be held.



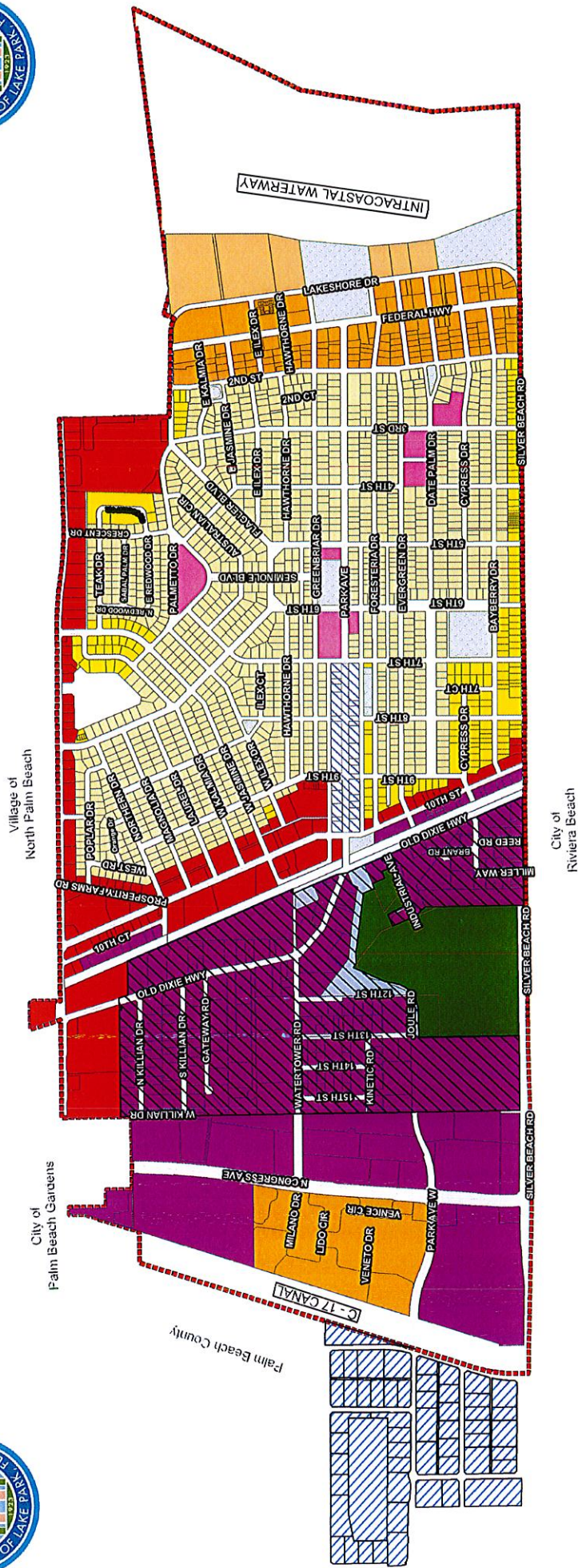
NOTICES:

A courtesy letter was mailed to all property owners within the corridor boundaries advising them of the meeting schedule. A Clearinghouse Notice was distributed through the Intergovernmental Plan Amendment Review Committee to North Palm Beach, Palm Beach Gardens, Riviera Beach, Palm Beach County, the Treasure Coast Regional Planning Council and the School Board. Additional notices were sent via an email blast to all individuals who provided their email addresses throughout our many public workshops. A notice was also placed on the Town's main page of the website, as well as on our local Channel 18. Staff has received plenty of positive feedback and interest for this initiative.

Attachments: Town of Lake Park Future Land Use Map
Town of Lake Park Zoning Map



Lake Park Future Land Use Map



Legend

- Annexation
- Bioscience
- Other
- COMMERCIAL
- CONSERVATION
- COMMERCIAL AND LIGHT INDUSTRIAL
- MIXED RESIDENTIAL AND COMMERCIAL
- OTHER PUBLIC FACILITIES
- PUBLIC BUILDINGS
- RECREATION OVERLAY
- RESIDENTIAL HIGH DENSITY
- RESIDENTIAL LOW DENSITY
- RESIDENTIAL MEDIUM DENSITY
- DOWNTOWN
- TOWN BOUNDARY

Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS



Produced and maintained by the CGA
Geographic Information Systems Service



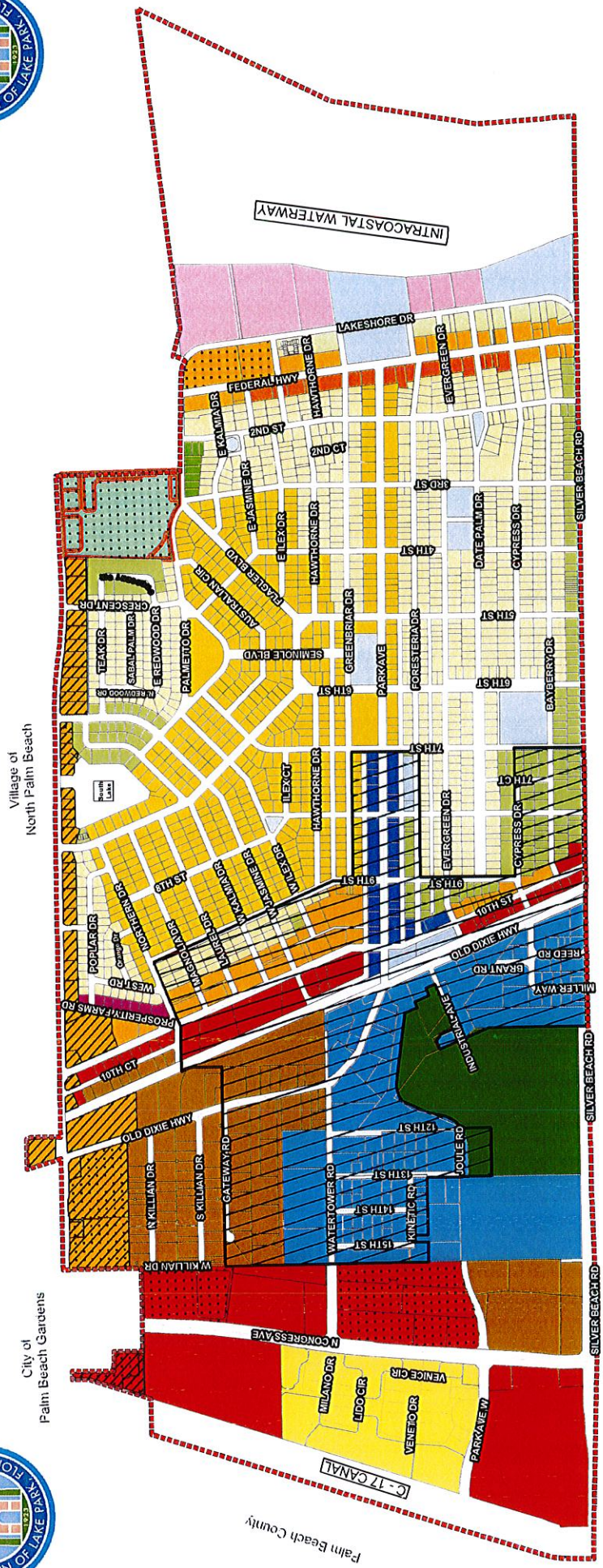
Map Date : 6-28-2016

Nadia Di Tommaso - Director
Community Development Department
Town of Lake Park
535 Park Ave. Lake Park, FL 33403
561-881-3319 561-881-3323 (fax)
ndtommaso@lakeparkflorida.gov

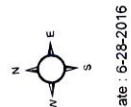
Document Name : Future Land Use Map 2016-2022



Lake Park Zoning Map



- Legend**
- TOWN BOUNDARY
 - C1 BUSINESS DISTRICT
 - C2 BUSINESS DISTRICT
 - C3 BUSINESS DISTRICT
 - C4 BUSINESS DISTRICT
 - CLIC CAMPUS LIGHT INDUSTRIAL & COMMERCIAL
 - CONSERVATION
 - CRA OVERLAY
 - NBOZ OVERLAY
 - P PUBLIC DISTRICT
 - PADD PARK AVENUE DOWNTOWN DISTRICT
 - PUD PLANNED UNIT DEVELOPMENT
 - R1 SINGLE FAMILY RESIDENCE DISTRICT
 - R1A SINGLE FAMILY RESIDENCE DISTRICT
 - R1AA RESIDENCE DISTRICT
 - R2 MULTIPLE FAMILY RESIDENCE DISTRICT
 - R2A MULTIPLE FAMILY RESIDENCE DISTRICT
 - R3 MULTIPLE FAMILY RESIDENCE DISTRICT
 - R1B TWO FAMILY RESIDENCE DISTRICT
 - TND TRADITIONAL NEIGHBORHOOD DEVELOPMENT



Nadia Di Tommaso - Director
Community Development Department
Town of Lake Park
535 Park Ave. Lake Park, FL 33403
561-881-3319 561-881-3323 (fax)
ndtommaso@lakeparkflorida.gov

Map Date : 6-28-2016

Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONSSM

Produced and maintained by the CGA
Geographic Information Systems Services

GIS

ESRI

COMPREHENSIVE PLAN

CAPACITY ANALYSIS

TOWN OF LAKE PARK – CAPACITY ANALYSIS

DATE OF REVIEW: July 11, 2016

PROJECT APPLICANT: Town of Lake Park

REQUEST: Change the Mixed Use Zoning Overlay District (Commercial/Residential land use designation) development density and intensity standards as follows:
FROM a maximum of 20 units per acre and a maximum FAR (Floor Area Ratio) of 2.5;
TO a maximum of 40 units per acre and a maximum FAR of 2.5 in the Urban Neighborhood Edge sub district, a maximum of 60 units per acre and a maximum FAR of 4.0 in the Urban Edge sub district, and a maximum of 80 units per acre and a maximum FAR of 6.0 in the Urban Waterfront sub district.

The 62.60-acre subject property is designated Commercial/Residential on the Future Land Use Map. The Town is proposing to change the development standards as summarized in the request above.

The impacts in maximum development potential that would result from the Comprehensive Plan amendment are outlined in the attached “Town of Lake Park 2016 Commercial/Residential Comprehensive Plan Amendment Maximum Build-out Analysis”. The impacts of maximum build-out on the Town’s ability to meet its adopted Level of Service standard are summarized below. As can be seen, the Town will continue to meet its Level of Service standards even in the event of maximum build-out under the Comprehensive Plan designation, with the exception of parks. At maximum build-out, it is estimated that 2.1 acres of additional park land would be required. Ultimately, however, it is unlikely that the subject property could ever be developed to maximum allowed build-out due to the site configuration, land development regulations, and other constraints.

Level of Service (LOS) Analysis

This analysis is based on those standards contained in the Town’s adopted Comprehensive Plan.

Transportation:

Roadway Adopted LOS Standard – LOS D

Estimated trips - +31,050 trips on US-1

Current daily trips – 25,989

Projected daily trips at build out – 57,039

Current LOS – C

Projected LOS D

Sources:

Palm Beach County 2015 Historic Traffic Growth Table

FDOT 2013 Quality Level of Service Handbook

FDOT Generalized Annual Average Daily Volumes for Florida’s Urbanized Areas

Potable Water:

Residential LOS Standard - 97 gallons per capita per day
Non-residential LOS Standard - 1,777 gallons per acre/day
Estimated impact – + 485,000 gallons per day
Current consumption (Seacoast Utility Authority service area) – 13.3 million gallons per day
Projected consumption at build out – 13.7 million gallons per day
Current capacity – 30.5 million gallons per day

Sources:

Seacoast Utility Author Engineer's Report on the Physical Condition of the System
Seacoast Utility Authority website, www.sua.com

Sanitary Sewer:

Residential LOS Standard– 66 gallons per capita per day
Non-residential LOS Standard – 1,089 gallons/acre/day
Estimated impact - +330,000 gallons per day
Current consumption (Seacoast Utility Authority service area) – 5.16 million gallons per day
Projected consumption at build out – 5.49 million gallons per day
Current capacity – 12 million gallons per day

Sources:

Seacoast Utility Author Engineer's Report on the Physical Condition of the System
Seacoast Utility Authority website, www.sua.com

Solid Waste:

Solid Waste
LOS Standard – 3.43 lbs./capita/day for residential, 112.56 lbs./acre/day for commercial
Estimated impact at build out - +17,150 lbs. /day
Palm Beach County Solid Water Authority has capacity to convert all solid waste generated in County into electricity for the next 20 years

Sources:

Palm Beach County Solid Waste Authority, www.swa.com

Parks & Recreation:

LOS Standard – 2.5 acres/1,000 residents
Estimated impact - +12.5 acres
Current park acres required to meet LOS Standard – 21.5 acres
Projected park acres required to meet LOS Standard at maximum build out – 34 acres
Existing park acreage – 31.9 acres

Sources:

City park inventory

Schools:

LOS Standard - Enrollment not to exceed 110% of capacity (measured in Concurrency Service Areas (CSAs))

Estimated impact of maximum build out - +233 students (+100 elem., +52 middle, +81 senior)

Current enrollment, elementary schools in CSA 5 – 3,744 students

Projected elementary school enrollment at maximum build out – 3,844 students

Capacity, elementary schools in CSA 5 – 5,104 student stations

Current enrollment, middle schools in CSA 5 – 1,512 students

Projected middle school enrollment at maximum build out – 1,564 students

Capacity, middle schools in CSA 5 – 2,756 student stations

Current enrollment, high schools in CSA 5 – 1,523 students

Projected high school enrollment at maximum build out – 1,604 students

Capacity, high schools in CSA 5 – 1,733 student stations

Sources:

October 2015 FTE Report School Concurrency Table, Palm Beach County Public Schools

Attachment: *“Town of Lake Park 2016 Commercial/Residential Comprehensive Plan Amendment Maximum Build-out Analysis”*

**Town of Lake Park 2016 Commercial/Residential Comprehensive Plan Amendment
Maximum Build-out Analysis**

Amendment:	<p>Change the Mixed Use Overlay District development density and intensity standards as follows:</p> <p>FROM a maximum of 20 units per acre and a maximum FAR of 2.5;</p> <p>TO a maximum of 40 units per acre and a maximum FAR of 2.5 in the Urban Neighborhood Edge subdistrict, a maximum of 60 units per acre and a maximum FAR of 3.5 in the Urban Edge subdistrict, and a maximum of 80 units per acre and a maximum FAR of 6.0 in the Urban Waterfront subdistrict.</p>
Size of Area:	62.60 acres
Potential Build-out based on current Future Land Use designation (Existing):	380 units, 2,069,971 s.f.
Potential Build-out based on proposed Future Land Use designation	2,318 units (+5,000 pop.), 6,104,934 s.f.
Impacts to services from current Future Land Use build-out scenario: Roadways – Potable Water – Sewer – Parks – Schools – Solid Waste –	41,512 trips 179,542 gallons per day (gpd) 120,719 gpd 2.34 acres of recreation open space required 110 students (53 elem., 24 middle, 33 senior) 6,673 lbs./day
Impacts to services from proposed Future Land Use build-out scenario: Roadways – Potable Water – Sewer – Parks – Schools – Solid Waste –	82,912 trips 664,542 gpd 450,719 gpd 12.5 acres of recreation open space required 343 students (153 elem., 76 middle, 114 senior) 23,923 lbs./day
Comparative Impacts to Services: Roadways – Potable Water – Sewer – Parks – Schools – Solid Waste –	+41,400 trips +350,152 gpd +234,744 gpd +9.42 acres or required recreation open space +233 students (+100 elem., +52 middle, +81 senior) +17,150 lbs./day

COMPREHENSIVE PLAN

FUTURE LAND USE ELEMENT

***Yellow highlighted areas are being proposed for modification (ALL ADDITIONAL LANGUAGE IS EXISTING AND ALREADY ADOPTED). The updated CAPACITY ANALYSIS is also enclosed.*

*Grey highlighted areas are relevant to Mixed-Use (and EXISTING in the Comprehensive Plan) – these grey areas are not being proposed for modification at this time since they are consistent with the proposed zoning ordinance for Phase 1 and are simply being provided as a reference***

COMPREHENSIVE PLAN - FUTURE LAND USE ELEMENT

3.3 GOAL, OBJECTIVES AND POLICIES

3.4.1 Town Goal Statement

Ensure that the historic small town character of Lake Park is maintained, while fostering development and redevelopment that is compatible with and improves existing neighborhoods and commercial areas. The Town shall maintain and seek opportunities to improve its ability to provide: (1) a full range of municipal services; (2) a diversity of housing alternatives consistent with existing residential neighborhoods; (3) commercial, industrial and mixed-use development opportunities that will further the achievement of economic development goals; and (4) a variety of recreational activities and community facilities oriented to serving the needs and desires of the Town. Various land use activities, consistent with these Town character parameters, will be located to maximize the potential for economic benefit and the enjoyment of natural and man-made resources by residents and property owners, while minimizing potential threats to health, safety and welfare posed by hazards, nuisances, incompatibles land uses and environmental degradation.

3.3.2 Objectives and Policies

OBJECTIVE 1: Future growth and development shall be managed through the Future Land Use Plan Map and Comprehensive Plan, as implemented by land development regulations which : (1) coordinate future land uses with appropriate topography, soil conditions and the availability of facilities and services; (2) encourage the

prevention, elimination or reduction of uses inconsistent with the Town goal statement and future land use plan; and (3) encourage redevelopment, renewal or renovation, that maintains or improves existing neighborhoods and commercial areas; (4) facilitate the achievement of economic development, historic preservation, resource preservation, and other key goals; and (45) discourage the proliferation of urban sprawl. New, revised, or redeveloped uses of land shall be consistent with the designations shown on the Future Land Use Map (FLUM). The achievement of the maximum density or intensity on a development or redevelopment site, and all development and redevelopment approvals, shall be contingent upon, and limited by, the provision of data and analysis that demonstrates the ability to meet adopted Level of Service Standards in the short term (five-year) planning horizon. **Improvements necessary to achieve the Level of Service Standard as a result of development or redevelopment must be programmed in the Five Year Capital improvements schedule as condition for the development approval. It is the Town's intent to promote development and redevelopment in accordance with the Future Land Use Plan Map over a 20 year long-range planning period, and only to permit development or redevelopment when services are in place or planned to meet the increased demand, in accordance with the concurrency management system.** Concurrency, site constraints, and other factors will ensure that redevelopment happens in a deliberate and controlled manner, and may inhibit the developers' ability to achieve maximum build-out.

Policy 1.1: Land Development Regulations shall be amended as necessary to contain specific and detailed provisions required to implement the adopted Comprehensive Plan and which as a minimum:

- a. Regulate the subdivision of land;
- b. Regulate the use and intensity of land development consistent with this element to ensure the compatibility of adjacent land uses;
- c. Regulate areas subject to seasonal and periodic flooding by requiring adequate drainage and storm water management
- d. Regulate signage
- e. Ensure safe and convenient onsite traffic flow and vehicle parking needs;
- f. Ensure that public facility, utility and service authorization has been procured prior to issuing any development order;

- g. Provide that development orders and permits shall not be issued which result in a reduction of the level of services for the affected public facilities below the level of service standards adopted in this Comprehensive Plan;
- h. Ensure the proper maintenance of building stock and property by continually adopting, updating and enforcing adopted housing, building and related codes;
- i. Discourage the proliferation of urban sprawl;
- j. **Encourage redevelopment, renewal or renovation, that Maintains or improves existing neighborhoods and commercial areas;**
- k. Eliminate and/or reduce use of land inconsistent with the Future Land Use Map and the community's character, and;
- l. **Facilitates the achievement of economic development, historic preservation, resource preservation, and other key goals.**

(...)

Policy 6.5: The Town shall consider the use of transfers of development rights, purchase of development rights, and other creative mechanisms to achieve its historic preservation goals while not placing an undue burden on property owners.

Objective 7: The Town recognizes the benefits of unified architectural and design standards. The Town shall continue to develop, maintain, revise and enforce these standards as appropriate.

Policy 7.1: The Town shall continue to elicit community participation in the development of community design standards for specific neighborhoods and areas as a key component of its redevelopment and planning efforts.

(...)

Objective 9: Within in the Residential and Commercial land use the town shall implement a Mixed-Use Zoning District or Overlay Area, which allows projects consisting of a combination of at least two or more different uses within a unified development district area, such as a mix of residential, non-residential, and commercial uses in a single project. The residential component of a mixed-use project may include single family detached, attached residences, duplexes, town homes, and other types of multi-family residences, except for adult congregate living facilities. The commercial component of a mixed-use project may include, but is not limited to, small scale retail sales and services; business services and medical, legal, and other similar professional office type uses intended to serve the residential areas of the town. The non-residential component may include active and passive parks and recreation facilities, green space, open space, preserves, and conservation areas. It is the legislative intent that areas designated for mixed use projects should encourage and attract the development of a compatible mix of residential, non-residential, and commercial uses in a proposed development which is consistent and compatible with the Town's comprehensive plan and platted in accordance with the procedures of the Town Code and state law.

Policy 9.1: The first floor of any building in a mixed-use project that has frontage on the Federal Highway corridor, may not contain any residential uses.

Policy 9.2: Single family lots located east of 2nd Street and west of Federal Highway within a Residential and Commercial Land Use District shall remain as residential lots used for residential purposes only, with no commercial/multifamily (mixed-use) development permitted, until the Town adopts specific land development regulations for the Mixed-Use Zoning District.

Policy 9.3: A commercial only project shall only be approved through a PUD process as defined and regulated in the zoning code.

Policy 9.4: A commercial / multifamily (including duplexes) expansion or development project that extends to the west more than 175 feet beyond the Federal Highway frontage line shall only

Might need
to modify
in Phase 2

Either
9.3 or
9.5 can
apply

occur through a design-unified mixed use redevelopment project as defined in the zoning code. Any such project must have commercial frontage on Federal Highway.

Either
9.3 or
9.5 can
apply

Policy 9.5: Development on the east side of Federal Highway that combines lots fronting on both Federal Highway and Lakeshore Drive shall only occur through a design-unified mixed use redevelopment project as defined in the zoning code

Policy 9.6: A non-mixed-use redevelopment project ~~or a commercial-only~~ shall have a maximum F.A.R. of 2.5. ~~for commercial uses and residential uses may have a maximum of 20 units per gross acre.~~ A mixed-use redevelopment project shall have a maximum of 40 units per acre and a maximum FAR of 2.5 in the Urban Neighborhood Edge sub district, a maximum of 60 units per acre and a maximum FAR of 4.0 in the Urban Edge sub district, and a maximum of 80 units per acre and a maximum FAR of 6.0 in the Urban Waterfront sub district. Sub-district boundaries shall be defined in the zoning ordinance. Any such project shall include open space or public amenity uses. Buildings are encouraged to be located close to the sidewalk at the front setback line, or immediately behind a public/semi-public space (i.e. outside seating). Parking in front of businesses is discouraged. Buildings fronting on streets must include appropriate architectural street frontage detailing in addition to the standard requirements for the entire building as set forth in the zoning ordinance.

Policy 9.7: To the west of Federal Highway there shall be a fully landscaped buffer/screen between any mixed use redevelopment project and a single family use or a public right of way. All such projects shall be compatible with the surrounding area.

Might need
to modify
in Phase 2

Policy 9.8: Development along Lakeshore Drive shall maintain pedestrian oriented architecture, landscaping, and access.

Policy 9.9: Public schools are a permitted use within Mixed Use districts.

44. Amend the Future Land Use Classification System as follows:

Future Land Use Classification System.

Land use categories listed as follows are hereby adopted as the “Future Land Use Classification System”.

Please note that the ability to achieve the maximum residential density and/or Floor Area Ratio (F.A.R.) is contingent upon, and shall be limited by, the ability to meet adopted Level of Service Standards in the short term planning horizon.

(...)

Residential and Commercial – Lands and structures devoted to promoting a compatible mix of residential and commercial as follows: maximum of 40 units per acre and a maximum FAR of 2.5 in the Urban Neighborhood Edge sub-district, a maximum of 60 units per acre and a maximum FAR of 4.0 in the Urban Edge sub-district, and a maximum of 80 units per acre and a maximum FAR of 6.0 in the Urban Waterfront sub-district. Sub-district boundaries shall be defined in the zoning ordinance. at up to 20 units per gross acre and commercial uses with a maximum F.A.R. of 2.5 along major thoroughfares. ~~Public schools are a permitted use within this land use designation.~~ Residential uses shall comprise no less than 20 percent, or no more than 80 percent, of the floor area of any ~~vertical~~ mixed use ~~development, building, and no less than 20 percent and no more than 80 percent of the buildings on a development site or block face.~~

(...)

“Mixed Use Zoning Districts and Overlays” – a Mixed-Use Zoning District or Overlay Area, which allows projects consisting of a combination of at least two or more different uses within a unified development district area, such as mix of residential, non-residential, and commercial uses in a single project. The residential component of a mixed-use project may include single family detached,

attached residences, duplexes, town homes, and other types of multi-family residences, except for adult congregate living facilities. The commercial component of a mixed-use project shall be comprised of small scale retail sales and services, business services and medical, legal, and other similar professional office type uses intended to serve the residential areas of the town. The non-residential component may include active and passive parks and recreation facilities, green space, open space, preserves, and conservation areas. It is the legislative intent that areas designated for mixed use projects should encourage and attract the development of a compatible mix of residential, non-residential, and commercial uses in a proposed development which is consistent and compatible with the Town's comprehensive plan and platted in accordance with the procedures of the Town Code and state law.

A mixed use redevelopment project shall have a maximum of 40 units per acre and a maximum FAR of 2.5 in the Urban Neighborhood Edge sub-district, a maximum of 60 units per acre and a maximum FAR of 4.0 in the Urban Edge sub-district, and a maximum of 80 units per acre and a maximum FAR of 6.0 in the Urban Waterfront sub-district. Sub-district boundaries shall be defined in the zoning ordinance. F.A.R. of 2.5 for commercial uses and residential uses may have a maximum of 20 units per gross acre. Any such project shall include open space or public amenity uses. Buildings are encouraged to be located close to the sidewalk at the front setback line, or immediately behind a public/semi-public space (i.e. outside seating). Parking in front of businesses is discouraged. Buildings fronting on streets must include appropriate architectural street frontage detailing in addition to the standard requirements for the entire building as set forth in the zoning ordinance. Residential uses shall comprise no less than 20 percent, or no more than 80 percent, of the floor area of any vertical mixed use development building, and no less than 20 percent and no more than 80 percent of the buildings on a development site or block face. The first floor of any building in a mixed-use project that has frontage on the Federal Highway corridor may not contain any residential uses.

MIXED-USE ZONING
OVERLAY DISTRICT (MUZ)
***(Land Development
Regulations)***

Section (TBD) – Mixed-Use Zoning (MUZ) Overlay District.

- (a) **Purpose and Background.** The purpose and intent of the MUZ mixed-use zoning overlay district is to establish a corridor which creates a live, work and play environment which utilize mixed-use development concepts and which permit a combination of usually separated uses within a unified development district area. Natural features should be enhanced and environmental conditions carefully assessed. Commercial uses are intended to be specialty small scale retail sales and services, business services and professional services primarily designed to serve the residential composition of the area. Orientation to and compatibility with neighborhoods to be served are essential. Residential uses are intended to encourage the accomplishment of a more complete residential living environment through the application of imaginative approaches to development which establish neighborhood identity and community focus. It is further the purpose and intent of this area to provide lands for a range of residential uses from lower density townhome-type development inclusion to higher density residential uses, all within a mixed-use setting. Traffic circulation should not only accommodate vehicular traffic, but provide for the efficient movement of pedestrian and bicycle traffic.

An "overlay" district is a zoning district that is superimposed over one or more existing districts in order to impose additional restrictions, permit additional uses, or implement density bonuses or incentive zoning to achieve community goals. In the case of mixed use zoning, it is used to allow added uses and to provide a development incentive through increasing densities and intensities while achieving local economic goals. Thus, developers can develop either according to the underlying zoning or according to more flexible mixed use provisions.

The overlay, as we have noted, encourages coordinated, cohesive development across lots or through lot consolidation. Rather than allowing piecemeal development, it encourages a sense of place over a larger area. The overlay allows the community to enable and require a mix of uses and to control their features. Changing the underlying zoning to allow a mix by right would only enable the mix, but would not require it nor would it control it via a special mixed-use process. The overlay concept is especially useful where the desired mixed use area crosses zoning district boundaries, or includes only a piece of a district, or where the community wishes to protect certain uses in parts of a district.

To encourage developers to use the mixed use development option, the regulations need to include incentives and provide for community control while avoiding excessively burdensome requirements. If the regulations raise too many hurdles, the development option will never be used.

The choice of incentives should also consider what is most likely to appeal to developers in the areas under consideration. The following incentives would be made available:

- The ability to build certain kinds of housing in a mixed-use setting (e.g., multi-family) where it is not otherwise allowed in the underlying zoning district
- More flexible design standards and allowing the approval process to dictate community acceptable designs
- Less open space where flexibility produces better design and utilization of the open space
- Less parking, provided that adequate parking is achieved through such alternatives as shared parking arrangements; higher reliance on public transportation, bicycling, or walking; or transportation demand management techniques
- Streamlined/Expedited permitting
- Transfer of Development Rights in order to preserve historically-significant properties

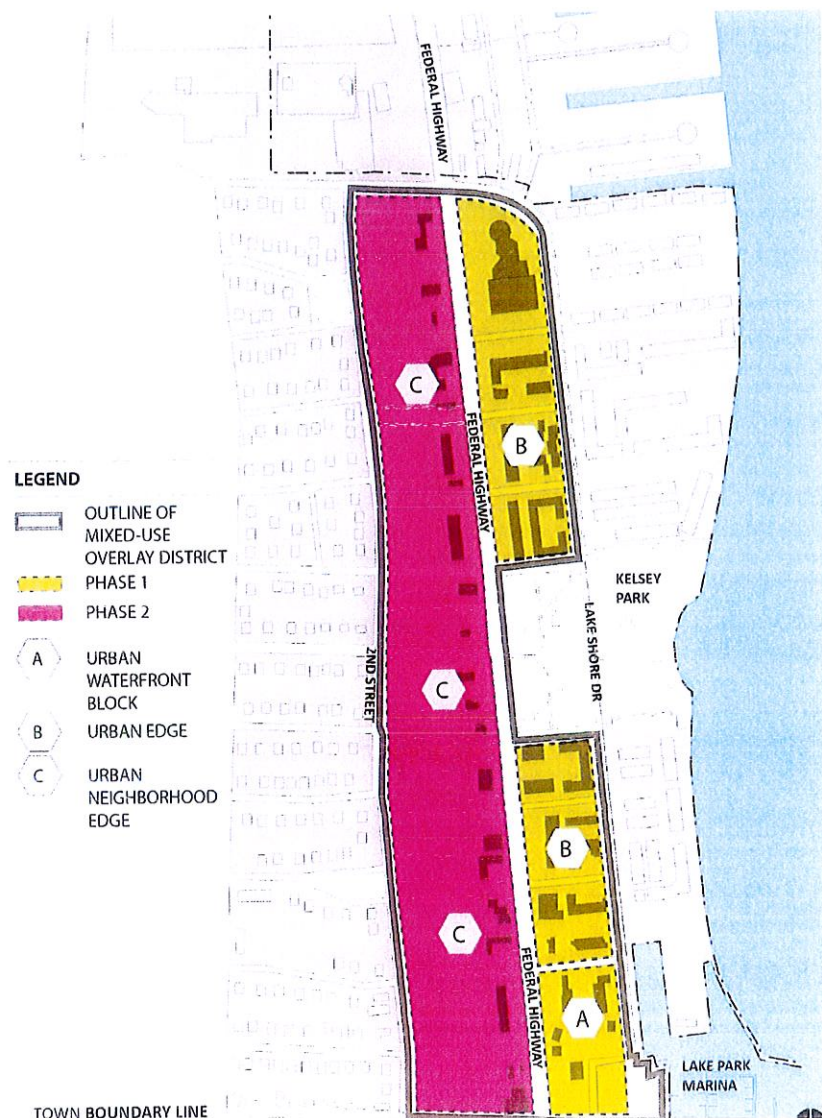
In balancing incentives and requirements, it is important to remember that the community retains control through the mixed-use process. The mixed-use process will require high quality design. The Planning and Zoning Board and/or Commission may always recommend denial or negotiate a more desirable design. While the comprehensive plan will control maximum density and intensity, this Mixed-Use Zoning Overlay District aims to provide maximum flexibility in design such that that parking, water and sewer infrastructure, along with design elements such as connectivity, walkability, and architectural features, are used to guide acceptable development.

- (b) **Applicability** of development regulations to mixed-use development. Although mixed-use development produced in compliance with the provisions and requirements of this section and other regulations as set forth and detailed in this chapter, such developments are to be in compliance with the Town's Comprehensive Plan and platted in accordance with the procedures for approval of plats as set by Florida Statute. The mixed-use development provisions set forth in this section shall be utilized in the review of all future mixed-use development proposals for this special planning area as identified in the future land use element of the Town's Comprehensive Plan with a Residential/Commercial land use designation.

Compliance with the standards of the MUZ shall be demonstrated by submittal of a site development plan application which includes architectural drawings/elevations and which must adhere to the Town's site plan development approval process as defined by the Town Code.

The area within the boundaries of the MUZ is divided in three Sub-districts: Urban Neighborhood Edge, Urban Edge, and Urban Waterfront Block as identified in Figure 1.

Figure 1. Mixed-Use Overlay District (MUZ)



- (c) **Conflicts** with other regulations. Where conflicts exist between the mixed-use zoning overlay district special regulations in this section and other applicable sections of the Town Code, the special regulations in this section shall apply.

- (d) **General requirements and special regulations.** The following general requirements and special regulations shall apply to mixed-use developments within the MUZ overlay district:

- (1) *Location.* A mixed-use development is permitted only within the district identified by the Future Land Use Element of the Comprehensive Plan.

The highest density and intensity within the MUZ shall be allocated to the Urban Waterfront Block, the area adjacent to the Lake Park Harbor Marina and shall only be developed as mixed-use if the single-family residential parcels within this block are adequately protected from the impacts of development. The Urban Waterfront Block is also the Sub-district which can incorporate commercial uses on the ground floor and within the upper floors. The second highest densities and intensities shall then be allocated to those parcels located on the east side of North Federal Highway, with the lowest densities and intensities on the west side of North Federal Highway (Phase 2 will take a closer look at those provisions that should be incorporated for west side development).

All mixed-use developments must include a North Federal Highway frontage which shall consist of ground floor commercial that can extend along the side streets up to half a block deep and internal to the remainder of the site. Upper floor commercial is also permitted along North Federal Highway and up to a half a block deep on the side streets and internal to the remainder of the site. Mixed-Use developments on the east side of Federal Highway (except within the Urban Waterfront Block Sub-district) and on the west side of Federal Highway at Silver Beach Road, shall incorporate residential uses and facades facing Lake Shore Drive and along Silver Beach Road starting 150 west of Federal Highway pursuant to the residential design guidelines found herein.

- (2) *Configuration of site.* Any tract of land for which a mixed-use development application is made shall contain sufficient width, depth, and frontage on a publicly dedicated arterial or major street or appropriate access thereto to adequately accommodate its proposed use and design.
- (3) *Unity of title.* If multiple parcels, all land included for purposes of development within a mixed-use development shall be under unity of title, whether the owner/applicant is an individual, partnership or corporation, or a group of individuals, partnerships or corporations. The owner/applicant shall present firm evidence of the unity of title of the entire area within the proposed mixed-use development and shall state agreement that, the proposed development will:
- Do so in accord with the officially approved site plan of the development, and such other conditions or modifications as may be attached to the approval.
 - Provide agreements, covenants, contracts, deed restrictions or sureties acceptable to the Town for completion of the undertaking in accordance with the approved site plan as well as for the continuing operation and maintenance of such areas, functions, and facilities as are not to be provided, operated or maintained at general public expense.
 - Bind his development successors in title to any commitments made under these subsections.
- (4) *Density.* For the purpose of this section, if dwelling units are to be developed as part of a proposed development within the MUZ, the total number of dwelling units permitted in the mixed-use district shall be determined by the Future Land Use Element of the Comprehensive Plan.
- (5) *Building height.* Ground floor height shall be a minimum of 12 feet to enhance the ground floor architecture and include pronounced main entrance features. The maximum building height allowed for the three sub-districts shall be the following:

The sub-districts currently have the following proposed densities and floor area ratio allocations:

Urban Waterfront Block (Marina area): 80 units per acre; 6.0 FAR

Urban Edge (east side): 60 units per acre; 1.0 FAR

Urban Neighborhood Edge (west side): 40 units per acre; 2.5 FAR

Urban Waterfront Block: 15 stories, maximum overall building height of 170 feet.

Urban Edge: 10 stories, maximum overall building height of 115 feet.

Urban Neighborhood Edge: TO BE DETERMINED IN PHASE 2 (so far, 6 stories has been considered)

A transfer of development rights, as further defined herein, shall provide an additional 11 feet per story transfer however, no more than 6 stories may be transferred in the Urban Waterfront Block; 4 stories in the Urban Edge and (TO BE DETERMINED IN PHASE 2) stories in the Urban Neighborhood Edge.

- (e) **Site plan review.** In adherence to Chapter 78 of the Town Code, all mixed-use proposals will be considered development proposals and subject to the site plan approval process requiring Planning & Zoning Board review and Town Commission approval.

- (f) **Urban design principles.** The following urban design principles shall be considered as guidelines in all mixed-use development proposals:

- (1) That mixed use promotes economic and social well-being.
- (2) That streets serve the needs of the pedestrian and the automobile.
- (3) That proposed squares and plazas provide collective identity and a place for social activity and recreation.
- (4) That public buildings, facilities, and spaces are symbols of the community and convey identity and pride through their architectural clarity and civic functions.
- (5) That carefully placed buildings delineate and define public spaces and lots and blocks.
- (6) That streets are designed and act as amenities to the development and as quality public space.

- (g) **Urban design objectives.** The following urban design objectives shall be considered as guidelines in all mixed-use development proposals:

- (1) To bring many of the activities of daily living, including dwelling, shopping and other activities, within walking distance.
- (2) To reduce the number and length of automobile trips to relieve traffic congestion.
- (3) To provide internal vehicular circulation to relieve traffic impact on arterial roads.
- (4) To provide defined public spaces and streets that allow the citizens of the Town to observe and watch over the collective security.
- (5) To provide sites for civic buildings.
- (6) To provide flexibility for the development strategies that evolve over time.

- (h) **Permitted uses.** Permitted uses in the MUZ overlay district shall include those uses that are permitted in the underlying zoning district regulations, including those accessory uses that are customarily incidental to the primary uses they serve. In addition, a combination of different residential-type uses. Furthermore, the following use guidelines/restrictions shall also apply:

1. **Indoor/Outdoor Operations.** All permitted uses in the MUZ overlay zoning district must be conducted within completely enclosed buildings unless otherwise expressly

Staff is currently working through a Code overhaul process that includes modernizing our district uses. The associated underlying districts can ideally be revamped in advance.

authorized. This requirement does not apply to certain off-street parking or loading areas, or outdoor seating areas, or certain uses that are integral to primary uses and promote outdoor activity and social interaction. Restaurant furniture located on the sidewalk shall maintain a minimum three (3) foot wide obstacle-free corridor for pedestrian circulation along the sidewalk, including adequate ADA connectivity. Alcoholic beverages may be served outdoors only where such service is strictly incidental to the service of food.

2. **Temporary Uses.** Temporary uses including tent sales; stands for the sale of flowers, fruit and similar uses; and festivals and farmers' markets are permitted, are subject to the special event permit provisions and signage application provisions of the Town code.
3. **Accommodation Uses:** Shall be permitted. These are facilities that provide short-term lodging including hotels, motels, rooming houses, bed and breakfasts, and similar uses. One hotel room shall equal one dwelling unit for density calculations.
4. **Child Care Facilities and Schools:** Schools shall not be permitted within mixed-use development proposals unless these uses are amenity driven and strictly provide a child care service to residents living within the proposed mixed-use development.
5. **Commercial Parking Garage:** Accessory uses that provide parking as the primary on-site use. These structural facilities offer short-term parking of vehicles and may charge a fee for such use. This group includes: shared parking facilities; shuttle parking facilities; and transit park-and-ride facilities. This group shall not include parking facilities that are ancillary to another on-site use. Shall meet the parking code requirements. Exposed surface parking is discouraged. Internalized commercial parking garages with liner buildings are encouraged. Liner buildings whose primary walls are visible from the street, shall incorporate softened façade features (residential-like if facing residential structures). All vehicular ingress/egress points shall be incorporated along the side streets and Federal Highway only.
6. **Drive-Through Facilities:** Drive-through facilities associated with a retail use, personal service establishment, coffee shop or restaurant. Drive-through facilities shall be permitted only when such facilities are 100% concealed from streets by buildings or walls that are architecturally compatible with the overall site design.
7. **Entertainment Use:** Uses in this group shall include: supper clubs; movie theaters; performance theaters; radio, movie and/or television studios; billiard halls; bingo halls; piano bars; bowling alleys, and similar uses. Adult entertainment uses are strictly prohibited. The sale of alcohol, if provided, shall be ancillary to the primary entertainment use and shall comply with the Town Code.
8. **Food/Beverage Establishments:** This group shall include: full service restaurants; fast food restaurants; bars, pubs, microbreweries; and similar uses. The sale of alcohol, if provided, shall comply with the requirements of the Town Code.
9. **General Retail/Personal Service Establishments:** Establishments that provide goods and services geared toward an individual consumer. This group shall include businesses

"sale of alcohol near certain uses prohibited" section in the Town Code -- staff will be proposing a modification to further exempt Federal Hwy (similar to the existing exemption for Park Avenue)

such as: banks; beauty parlors; bakeries; bookstores; apparel stores; grocery stores; pharmacies; tailor shops; health clubs; gift shops; animal service establishments, and similar uses. This group shall also include schools offering instruction in dance, music, martial arts and similar activities, but this group shall not include colleges/universities.

10. **Live/work Units:** An individual residential unit integrated with a general retail/personal service establishment, business office, or workshop. Commercial signage is not permitted on the exterior walls of live/work units.
 11. **Business Offices:** Facilities used primarily for the business of professionals with only limited transactions occurring on-site. This group shall include offices for: accountants; architects; appraisers; attorneys; consulates; financial firms; insurance adjusters; realtors; medical offices and other uses found by the Director to be similar. Class A office space is highly encouraged.
 12. **Residential Uses:** A luxury, amenity-driven residential composition is preferred. Urban villas, courtyard houses, sideyard houses, duplexes, rowhouses, condos/apartments, and other similar uses, when incorporated horizontally or vertically into a mixed-use development that includes mixed-use buildings. Home offices are permitted pursuant to the Town Code regulations for Home Occupations. Multi-Family Units can be incorporated above the ground floor of a mixed-use building fronting Federal Highway or entirely within a multi-family building whose residential units front Lake Shore Drive or the first 100 feet of building frontage extending west from Lake Shore Drive. Maximum allowable dwelling units are pursuant to the density requirements of the Comprehensive Plan. The residential component of a mixed-use development shall not exceed 80% of the total square footage, also pursuant to the Comprehensive Plan.
- (i) **Property development standards.** Property development standards for the MUZ overlay district shall be pursuant to those set forth in Chapter 78 of the Town Code. However, as part of the review and approval process by the Town, the Town Commission may modify the property development standards, at its discretion, provided the spirit and intent of the regulations and standards are complied with in the development of the mixed-use district and a public benefit is offered by the development. In addition to the property development standards in the Town Code, the following shall apply:
- (1) **Parking requirements.** On-street and off-street parking shall be allowed. The minimum number of required parking spaces to be provided shall be determined Section 78-142 of the Town Code, and may include a combination of on-street and off-street spaces. When using on-street parking to meet a portion of the required parking for a proposed project, only those spaces that lie within the street frontage areas of the property may be included in the total calculations for meeting the minimum required parking requirements.
- Multi-story parking garages and parking lots shall count toward all parking requirements except for the parking requirements of individualized residential-type developments that are incorporated within a mixed-use development, but require their own individualized parking (for example, row houses or urban villas).
- (a) At a minimum, parking shall be provided as follows:

Parking must be internalized so as to not represent the primary street front feature, but rather liner buildings or other architectural design techniques that are consistent and harmonious with the project design theme shall be utilized to screen the parking walls and vehicles from all street sides. Parking spaces are permitted to be 9 feet by 17 feet. Office and retail uses require 2 spaces 1,000 square feet; restaurants 8 spaces per

1,000 square feet of patron area; residential uses average 1.5 spaces per unit plus 1 guest space per 3 units and a pick-up/drop-off area for which the dimensions will be determined by necessity based on incorporated uses. Additional loading/unloading is required for restaurants and an additional loading space for office/retail uses. A common area can be utilized and the loading area must be justified by the developer's mix of uses and respective needs. Mixed-Use Developments that extend from Federal Highway to Lake Shore Drive shall eliminate curb cuts along Lake Shore Drive, except for developments within the Urban Waterfront Block. Additional provisions for mixed-use shall include:

- (i) *Multi-Family Residential Dwelling Units:* 1 space / 1 bedroom unit ; 1.5 spaces / 2 bedroom unit / 1.75 spaces / 3 or more bedroom units ; plus 1 guest space for every 3 overall dwelling units.
 - (ii) *Hotels:* 1 per guestroom, plus 1 per employee, calculated at maximum shift of employment.
 - (iii) *General Retail/Personal Services and Entertainment Uses:* 2 spaces per 1,000 square feet of gross floor area.
 - (iv) *Business Offices:* 1 space per 500 square feet of gross floor area.
 - (v) *Food/Beverage Establishments:* 8 spaces per 1,000 square feet of patron area.
 - (vi) *Live-work configurations:* Shall comply with residential requirements for dwelling units and commercial requirements for non-residential uses.
- (b) *Parking reductions/flexibility.* Reductions may be applied for and shall be based on shared parking scenarios as defined by the Town Code. Valet may also be incorporated for up to 50% of the required parking for non-residential uses, pursuant to the Town Code requirements. A valet lot used to meet non-residential parking requirements may be located off-site. Cross and joint access per the Town Code requirements may apply and may entitle developments to a reduction of the number of required parking spaces upon their respective properties by up to 50 percent provided the Town Code requirements for cross/joint access are met.

Mixed-use developments in all Sub-districts may provide the required parking off-site, where the off-site parking is within seven-hundred fifty (750) feet of the development. An applicant for approval of a mixed-use development with off-site parking shall execute and record in the public records of Palm Beach County a declaration of restrictions approved by the Town Attorney covenanting that such development shall maintain such parking area in perpetuity in order to satisfy the requirements of the developments.

- (2) ***Drainage of streets and rights-of-way.*** Raised curb and gutter drainage systems shall be the preferred method utilized within the MUZ overlay district. Alternate drainage systems shall be approved at the discretion of the Town and FDOT during the site plan review process for a proposed mixed-use development. South Florida Water Management District standards shall apply and applicants will be responsible to capture 100% of runoff onsite and provide improvements to all adjacent sidewalks/curb and gutter to accommodate the proposed

development. The Town's Lake Shore Drive Drainage Improvement Plans shall be adhered to and utilized in the plan review by the Town's consulting Engineer.

- (3) **Landscaping.** Except as provided herein, landscaping shall be provided as required by Town Code. Specific landscape requirements that govern mixed-use developments specifically are as follows:

Five (5)-foot landscape buffer widths are required along Federal Highway and along the side streets. The widths can be achieved using diamond cutout features whereby the centerline of the diamond is at least 5 feet wide and trees shall be spaced no more than 20 feet apart. Landscape buffers along Lake Shore Drive and interior lot lines adjacent to residential parcels shall be a minimum of 10-feet wide and incorporate a combination of trees (maximum spacing of trees shall be 20 feet for Lake Shore Drive and 40 feet for interior lot lines), hedges (minimum 4 feet in height planted 2-feet on center). Additional plantings that add color and distinction are encouraged within all landscape buffers.

- (4) **Open Spaces and Recreation Areas.** Open spaces under this article shall be classified as (a) designated, or (b) private open spaces.

a. Designated open spaces shall be subject to the following requirement:

- i. The street area on the side adjoining the designated open space and consisting of the curb, street tree landscape strip and sidewalk/walkway shall count towards the square footage of the open space.

b. Private open spaces shall be subject to the following requirements:

- i. Private open spaces shall be provided in the form of colonnades, courtyards, terraces, lawns, communal gardens, and landscaped roof terraces/gardens on buildings or garage structures. Designated open spaces shall count towards the private open space requirement.
- ii. Mixed-use developments shall reserve a minimum of ten (10) percent of the site for common, private open space.
- iii. Private open spaces shall be shaded, and their ground surface shall be a combination of paving materials, lawn, ground cover, flowers, and so on. Enclosures of private open spaces shall comply with the requirements herein.

- (5) **Lighting.** Shall be provided pursuant to the requirement of the Town Code. Additional mixed-use lighting provisions shall include:

- (a) Street lighting shall be provided in these areas: commercial and live-work unit driveways and parking areas, sidewalks and pedestrian passages, commercial establishment entryways, recreation areas, and multi-family residential common areas and entryways. Outdoor lighting of these areas shall comply with the Town Code requirements for lighting.
- (b) All light fixtures shall be of a pedestrian scale, with a maximum height of eighteen (18) feet and a maximum spacing between fixtures of sixty (60) feet or such other spacing as may be required for identified uses. Design enhanced light sources are preferred.
- (c) The type and spacing of light fixtures shall be based on uniformity of types, location, right-of-way width, and luminosity.
- (d) Weather and vandalism resistant covers shall protect all light fixtures.
- (e) Cobra-head lights shall not be permitted.

- (6) **Walls/Fences.** Shall be regulated pursuant to the Town Code regulations for business/commercial districts. Chain link fencing is prohibited in all mixed-use developments.

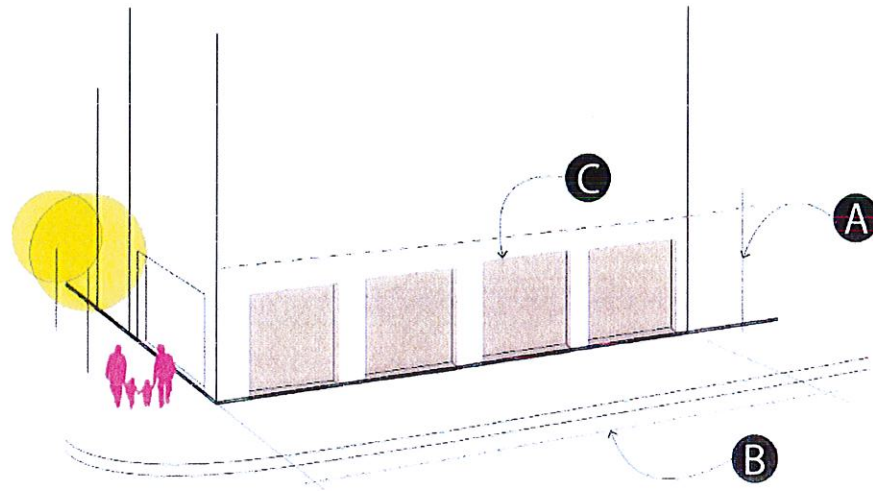
Walls and fences are also prohibited within 10 feet of any street front property line, unless the wall is being used to satisfy the buffering requirement between mixed-use lots and residential lots as defined in the Town Code. All walls and fences shall be consistent and harmonious with the architectural character of the mixed-use development.

- (7) **Signage.** A master signage plan will be required for all mixed-use development proposals. Signage shall be regulated pursuant to the Town Code signage provisions. Wall signage is permitted however, freestanding signage is discouraged, but for directional and instructional-related signage. Window signage is also discouraged, but for conspicuous open/close and business hour-related information to promote a uniform appearance, all of which needs to be incorporated in the master signage plan.
- (8) **Setbacks/Build-to Requirements.** The MUZ provides flexibility in setbacks with the Federal Highway side being dictated by the 5-foot landscape buffer as defined herein, with an additional 10 feet for walkways and/or outdoor dining areas or other outdoor spaces. These improvements are in addition to the Complete Streets initiative (when developed by the Town as a separate Town policy that will run its own course) which aims to provide an enhanced sidewalk area with center travel-lane landscaping improvements for Federal Highway. A street side activity component is required and shall be integrated and compatible with those uses integrated into the mixed-use development. Side street lot lines, interior lot lines and lot lines facing Lake Shore Drive are also dictated by the landscape buffer width requirements found herein. Essentially, the build-to lines will be dictated by the buffer requirements and added walkway/circulation requirements.
- (9) **Architectural Guidelines.** The architectural style, materials, other treatments, etc., to be utilized within a Mixed-Use development shall be considered by the Planning and Zoning Board and Town Commission as part of the overall review process. Architectural guidelines, as set forth in Chapter 78 of the Town Code shall be used as the basis for the overall design theme or style proposed for a Mixed-Use development and shall also be applicable to all residential components.

Varied architectural styles are possible. Additional provisions shall include the following:

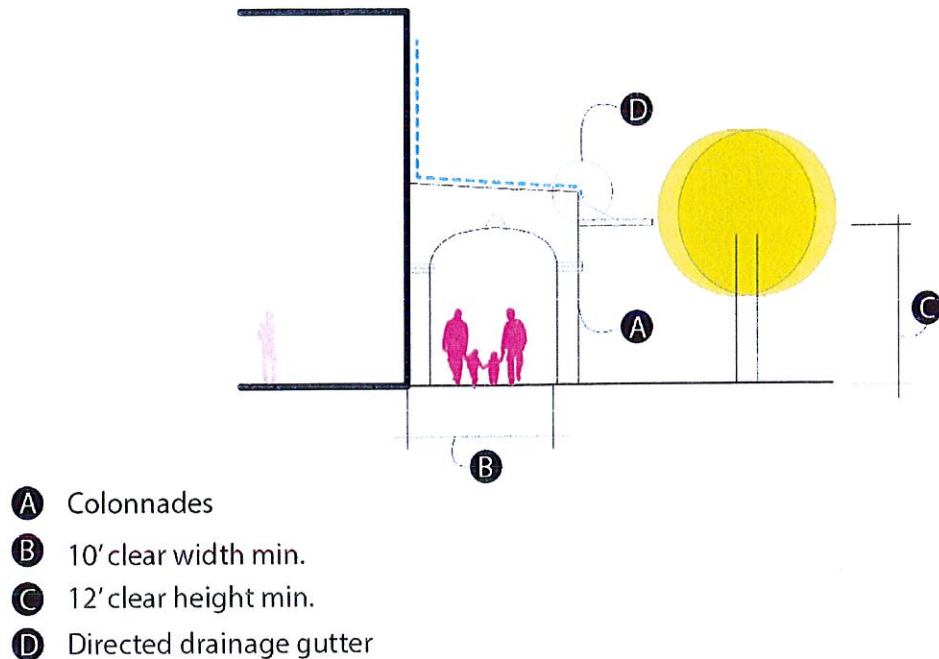
A. Buildings

1. Storefronts shall be provided on the first floor of mixed-use buildings and shall be directly accessible from a street frontage or a designated open space as follows:
 - a. For properties with two or more frontages, storefronts shall be located on a minimum of two frontages, with priority given to frontages on a designated open space and the primary street.
 - b. Storefronts shall have a transparent clear glazed area of not less than seventy (70) percent of the façade area and shall be occupied by habitable uses that generate pedestrian activity and provide surveillance to the street. Security enclosures, if any, shall be of the mesh type that pedestrians can see through, and shall be located behind the storefront displays.



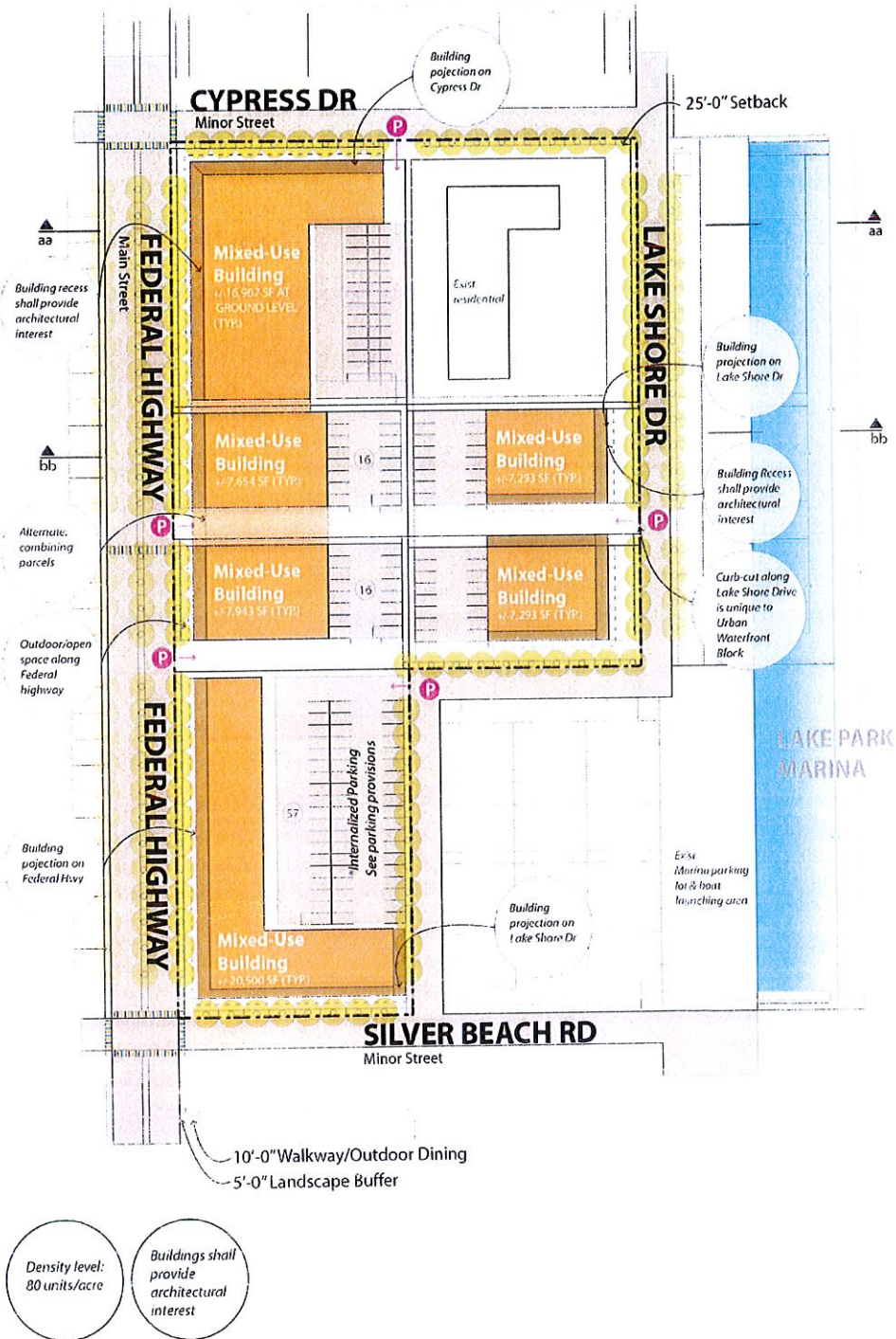
- Ⓐ 12'-0" min. ground floor height
- Ⓑ Length of building facade
- Ⓒ Storefront glazing area

2. Colonnades are encouraged. All colonnades shall comply with the following:
 - a. Finished floor of the colonnade shall match the adjoining private property walkway.
 - b. Colonnades (i.e. first floors) shall have a minimum unobstructed clear height of twelve (12) feet and a minimum clear width of ten (10) feet. Awnings shall be permitted, but shall not count towards the required colonnades. Colonnades shall not cause roof drainage into the street. Colonnades shall be attached to buildings.



3. A minimum of thirty (30) percent of all building street walls shall be fenestrated with windows. Mirror type glass is prohibited. All glazing shall be of a type that permits view of human activities and spaces within the structure. Colonnade column spacing, windows, and doors shall be proportioned such that the height of each opening is greater than its width.
4. The height of an accessory building shall not exceed the height of a principal building.
5. Weather protection features shall be required along provided storefronts.
6. Awnings, balconies, stoops, stairs, open porches, and bay windows shall be permitted to extend into the minimum required setbacks, to a maximum of 5 feet, except when abutting private property: Roof eaves, chimneys, signs, and ramps may encroach into all setbacks. Porticoes, canopies, and colonnades shall be guttered, and drainage shall be deposited onsite.
7. Service areas shall be located out of the view from adjacent properties or from the street and shall be fully screened.
8. The primary entrance of a building shall provide access to a street or a designated open space. The primary entrance to the upper levels of a mixed-use building with colonnades shall be through the colonnaded area along the front property line.
9. Building facades shall not run for more than 100 feet without providing a break in the façade by integrating an open walkway or similar type design feature.

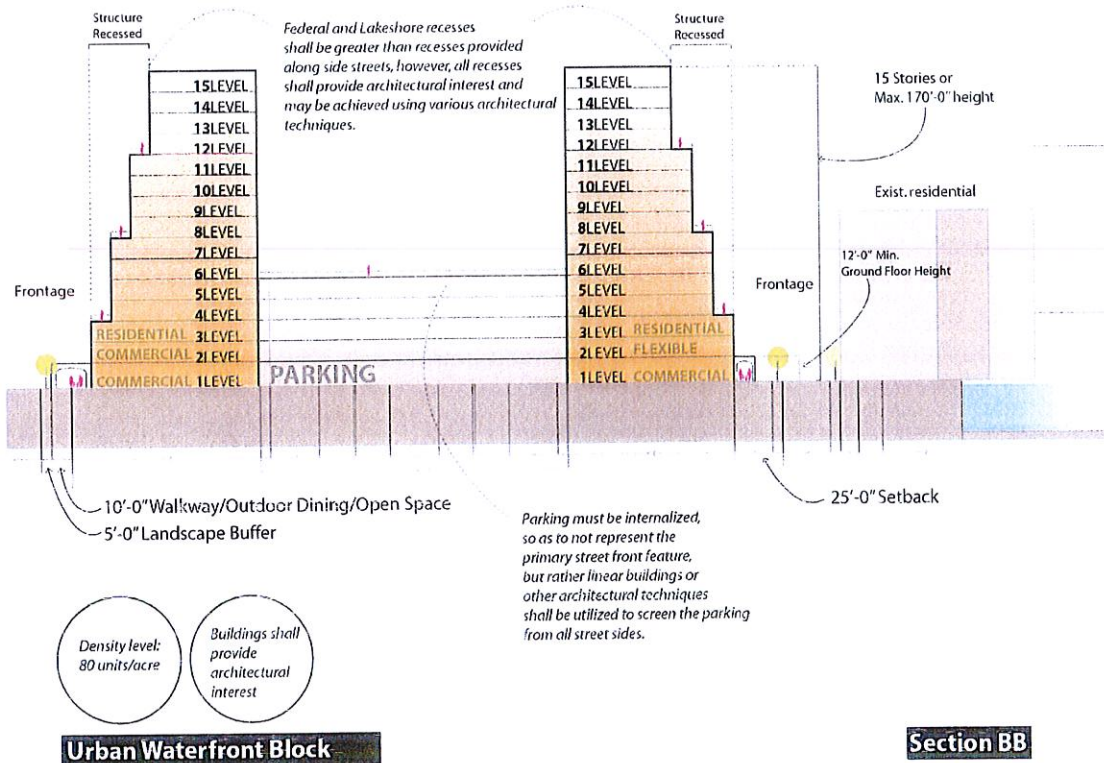
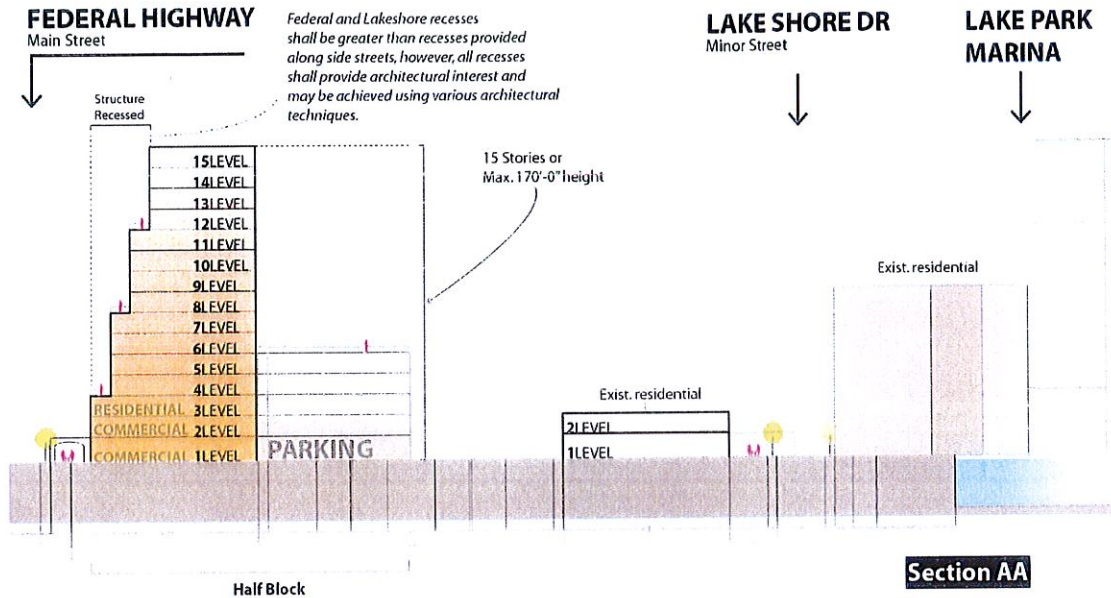
10. Stories shall be scaled back at the 3rd story and every 4 stories thereafter so as to integrate recessed interest to the structure and provide urban comfort. Federal and Lakeshore recesses shall be greater than recesses provided along side streets however, all recesses shall provide architectural interest and may be achieved using various architectural techniques.
- (10) ***Building Placement Standards.*** The MUZ leaves flexibility for design creativity to meet the intent of the overall Town vision for mixed-use development. These guidelines are intended to provide criteria for design, while allowing flexibility for architects, landscape architects, developers and builders in the implementation of developments within the order to achieve diversity and individually distinctive developments.
-



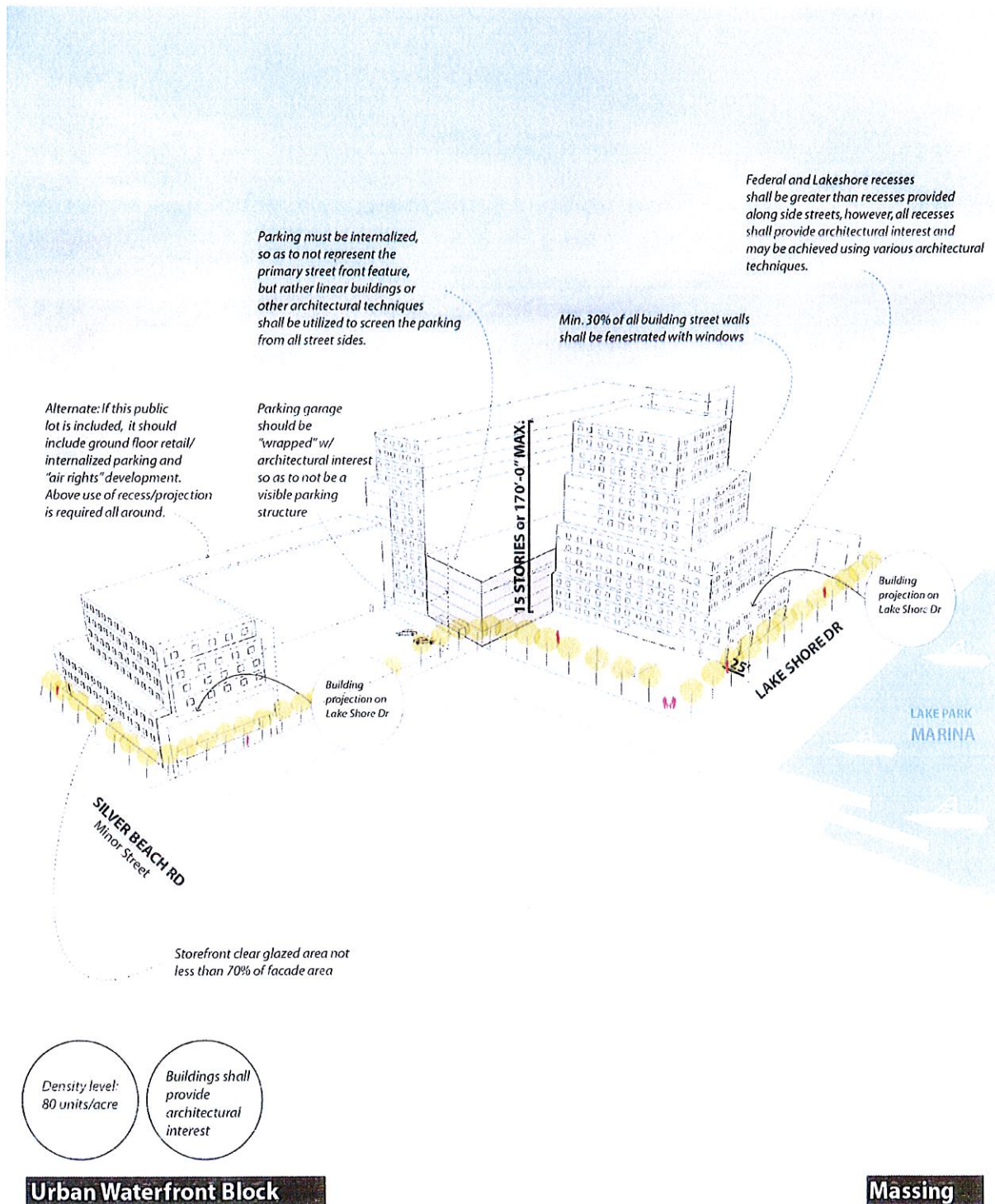
Urban Waterfront Block

Plan View

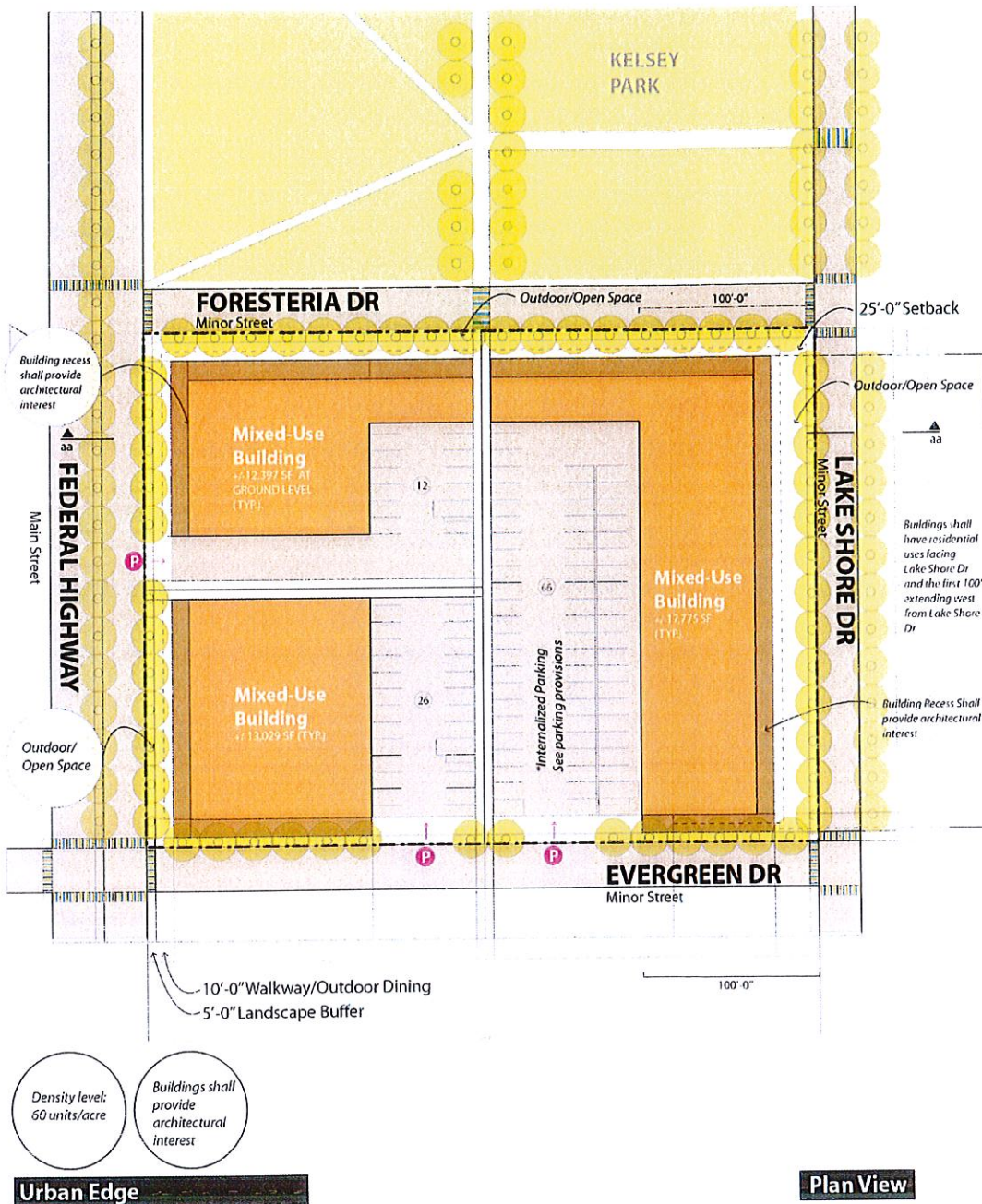
Design Guidelines - Urban Waterfront Block (Phase 1)



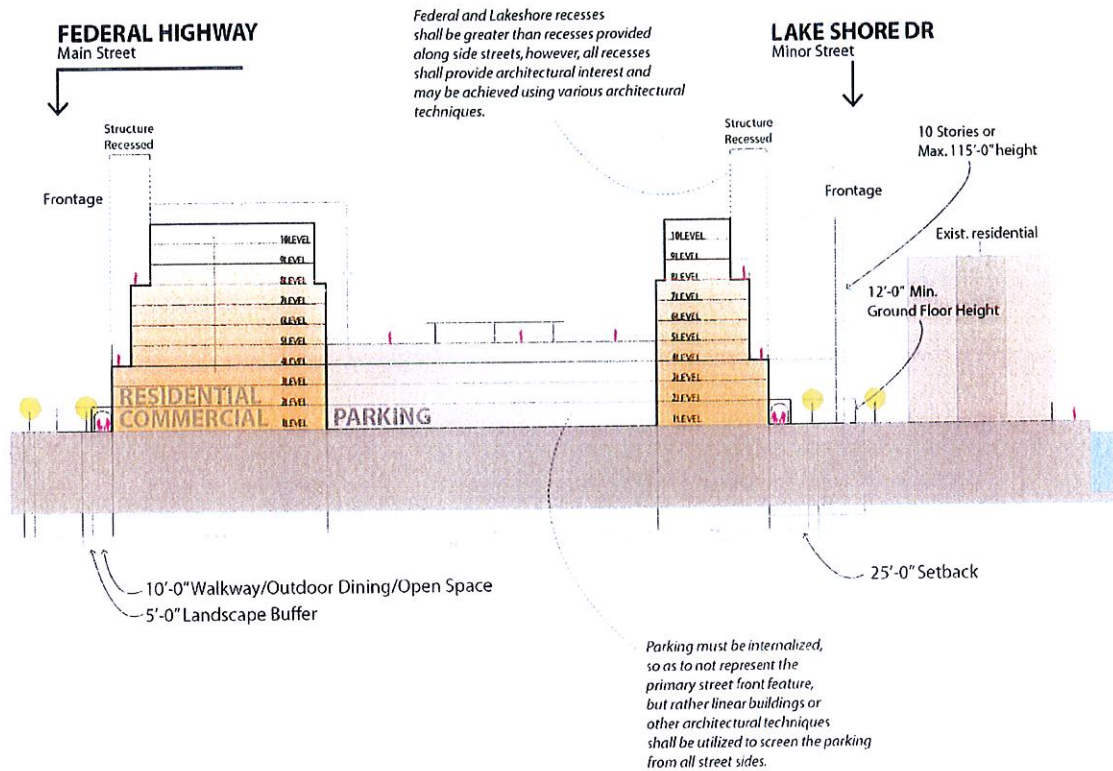
Design Guidelines - Urban Waterfront Block (Phase 1)



Design Guidelines - Urban Edge (Phase 1)



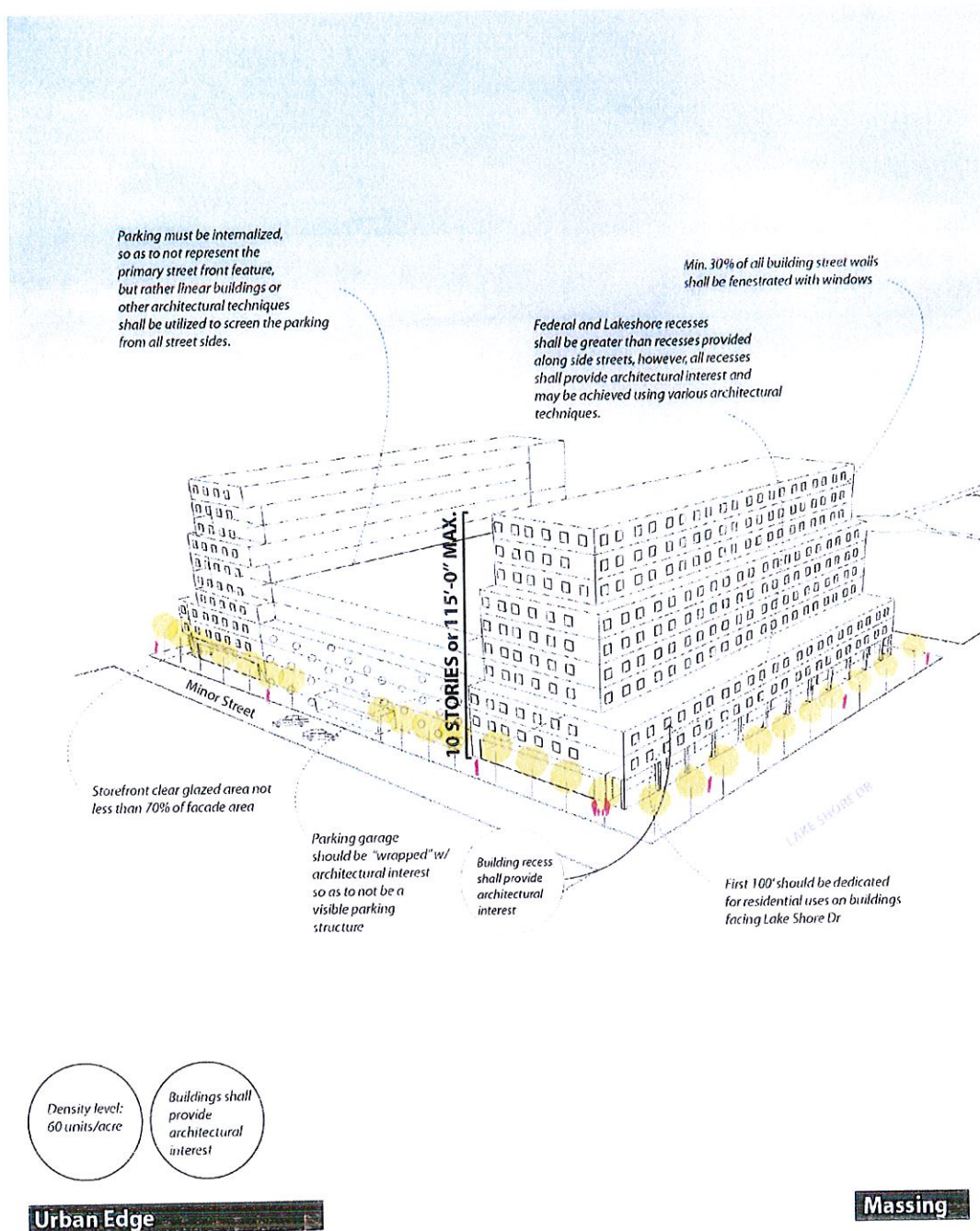
Design Guidelines - Urban Edge (Phase 1)



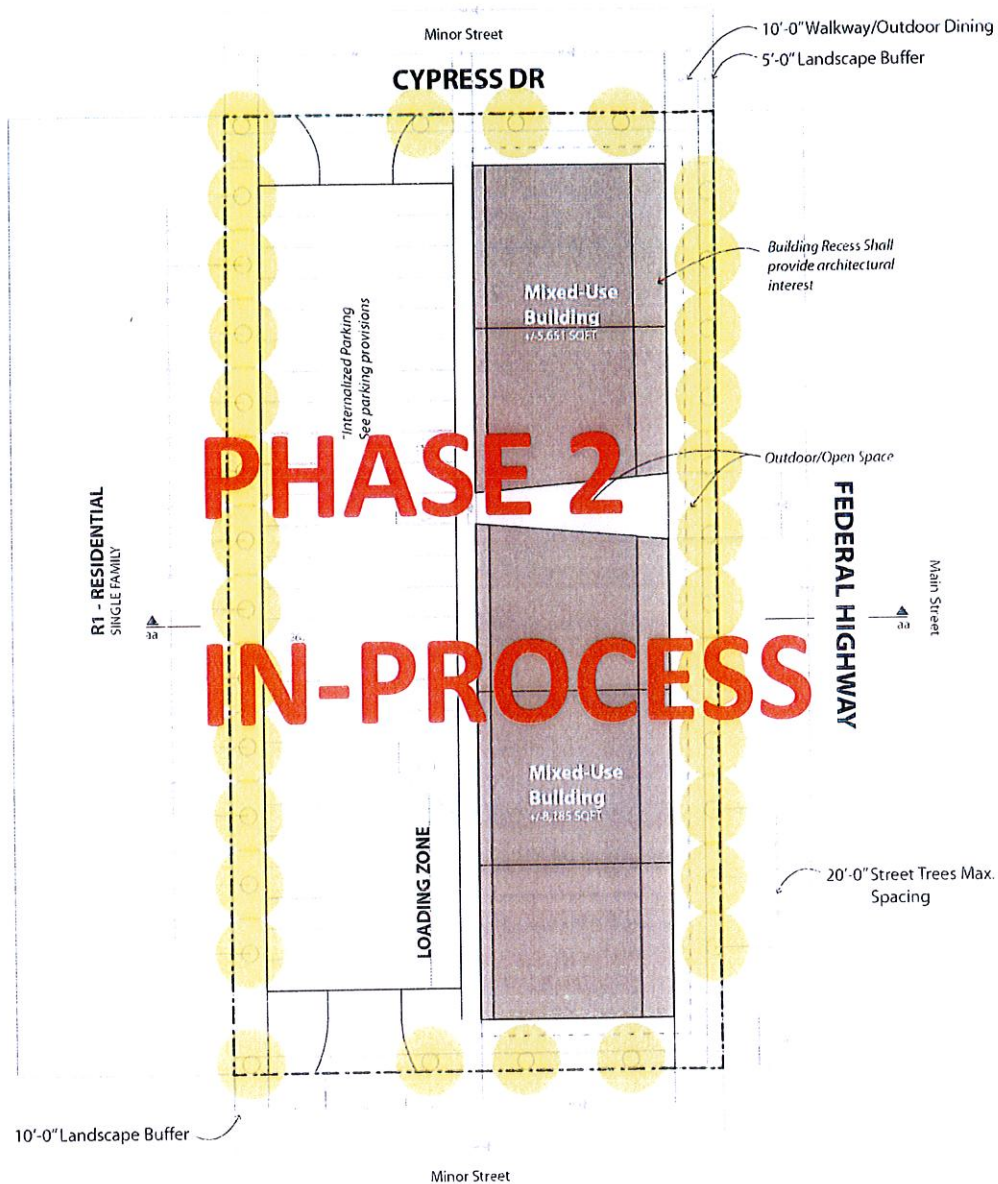
Urban Edge

Section AA

Design Guidelines - Urban Edge (Phase 1)



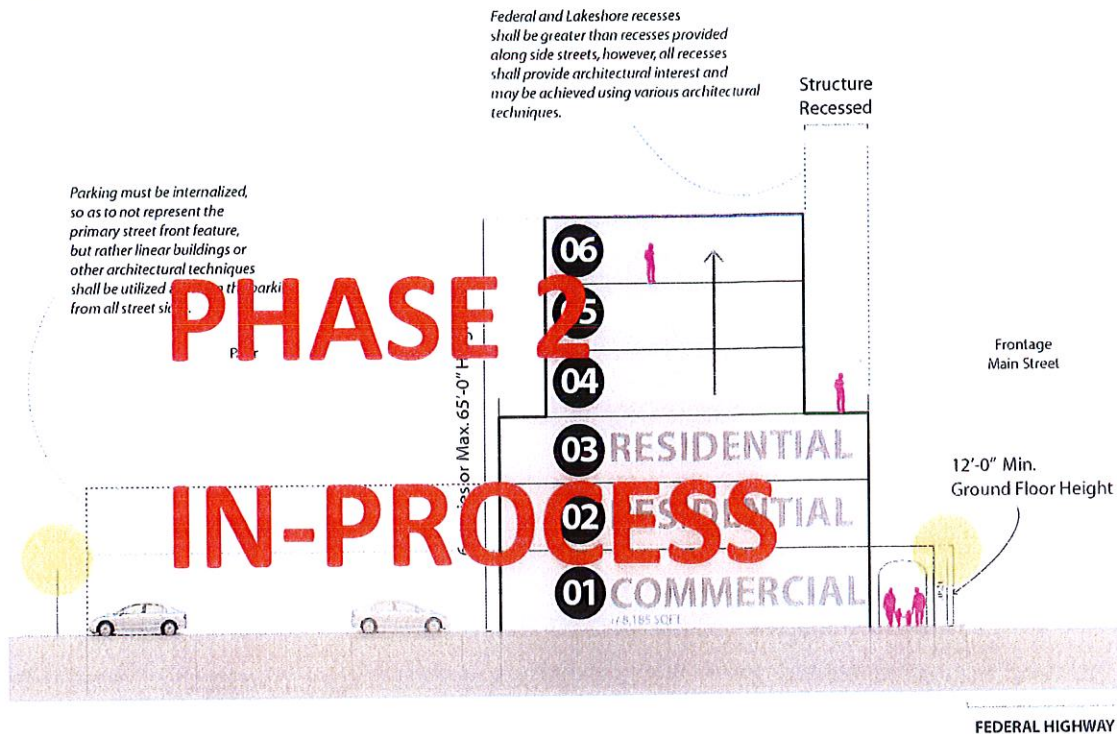
Design Guidelines - Urban Neighborhood Edge (Phase 2)

Density level
40 units/acre

Urban Neighborhood Edge

Plan View

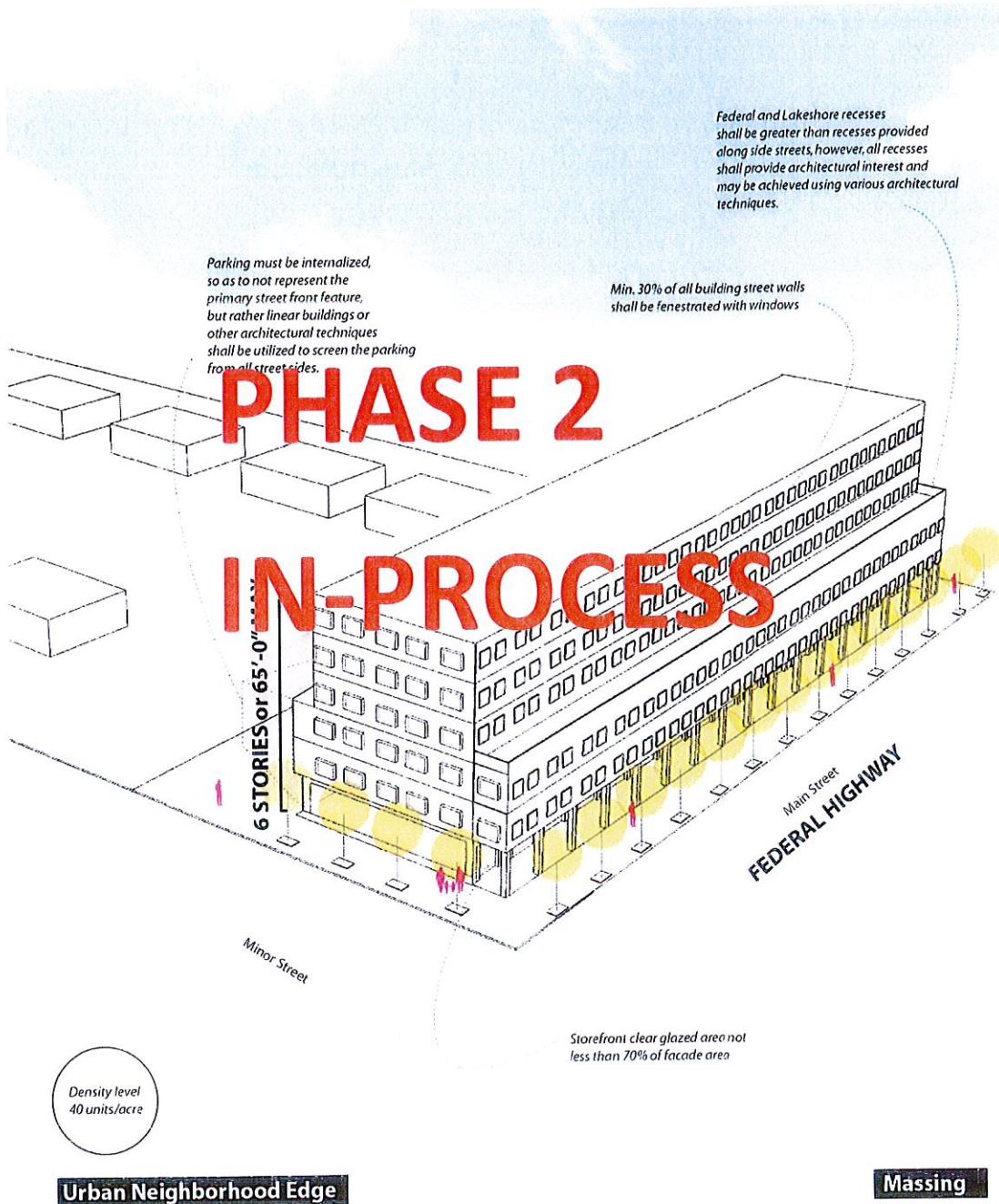
Design Guidelines - Urban Neighborhood Edge (Phase 2)



Urban Neighborhood Edge

Section AA

Design Guidelines - Urban Neighborhood Edge (Phase 2)



Section (TBD) - Transfer of Development Rights (TDR)

The Town shall allow for the Transfer of Development Rights (unused floor area, density, and height) from one parcel to another in the Mixed Use Zoning Overlay District where the Town Commission determines that:

- (1) Such transfers will assist in the renewal, rehabilitation, and redevelopment of the District and;
- (2) Preservation of historical and archeological resources may be achieved through such shifts in the development pattern.

Definitions. As used in this section, the following terms shall have the meanings indicated:

ADMINISTRATOR — The Community Development Director.

RECEIVING SITES (ALSO REFERRED TO AS "RECEIVER SITES") — Areas within the Mixed-Use Zoning Overlay District that are permitted to receive TDRs as defined herein.

SENDING SITES (ALSO REFERRED TO AS "SENDER SITES") — Areas within the Mixed-Use Zoning Overlay District that are permitted to send TDRs as defined herein.

SEVER — The removal of a development right from property rights possessed by an owner of real property. The term connotes a removal or separation, in perpetuity, as distinguished from a restriction or limitation, which may be overridden, deleted or is subject to a time frame.

TDR DEVELOPMENT BONUSES – Additional development rights, beyond the maximum potential development rights allowed under the Land Development Regulations, that may be achieved through the purchase of Transferable Development Rights.

TRANSFERABLE DEVELOPMENT RIGHTS (TDRs) — A development right is an appurtenant right of land ownership that has an economic value separate from the land itself, subject to reasonable regulation by local government under its police power, and that may be transferred from the land from which the right is severed (sender site) to another piece of land (receiver site). Once severed, development rights are no longer available to the sender site; but if only a portion of the development rights attributable to a sender site is transferred to a receiver site, the residual development rights remain with the sender site in accordance with the provisions of this section. Transferable Development Rights means the maximum floor area ratio (square footage) and density (dwelling units) exclusive of variances that would be permitted to be transferred by the property's zoning on the date of the transfer approval which will be calculated and allocated by a formula developed by the Town. These rights are sometimes referred to herein as "TDRs".

Establishment of sender sites; transfer of TDRs.

- (1) Establishment of sender sites. The following properties in the Mixed Use Zoning Overlay District that are designated as historic or otherwise deemed as historically "significant" are hereby deemed to be sender sites:
 - a. 700 Federal Highway, .4304 acres;
 - b. 600 Federal Highway, .3926 acres;
 - c. 624 Federal Highway, .4663 acres.
- (2) Development Rights. The maximum permitted development density, intensity and heights under the Mixed Use Zoning Overlay District Regulations for the three sender sites are as follows:

- a. 700 Federal Highway - 17 residential units, 43,870 s.f., six stories (65 feet);
 - b. 600 Federal Highway – 15 residential units, 42,754 s.f., six stories (65 feet), and;
 - c. 624 Federal Highway – 18 residential units, 50,780 s.f., six stories (65 feet).
- (3) Transfer of Development Rights. The sender sites listed herein will not be permitted to redevelop in accordance with the provisions of the Mixed Use Zoning Overlay Ordinance due to their historic designation or significance. However, the owners of the sender sites may transfer the development rights listed in (2) above to the owners of a Receiving Site as provided herein. The existing development on the sender site must be maintained after the transfer of the development rights. In the event that the existing development on a Sender Site is damaged or destroyed, any redevelopment on the site must maintain the existing building footprint, or any remaining development rights, whichever is greater.

Establishment of receiver sites; purchase of TDRs.

- (1) Establishment of Receiver Sites. All properties in the Mixed Use Zoning Overlay District, with the exception of the designated Sender Sites listed herein, may be designated as Receiver Sites after approval of a site plan with development bonuses as provided herein.
- (2) Development Rights. Properties located in the Mixed Use Zoning Overlay District, with the exception of the sender sites, are permitted to be redeveloped in accordance with the provision of the Mixed Use Zoning Overlay District and Land Development Regulations. In addition, owners may receive development bonuses through the Purchase of Transferable Development Rights from the owners of Sender Sites as specified in (3) – (5) below.
- (3) TDR Residential Density Bonus. A Receiver Site may receive a residential development bonus of ten percent (10%) through the purchase of Transferable Development Rights from the owner of a Sending Site. Each additional unit permitted with the bonus would require the purchase of the equivalent development right from the owner of the Sender Site.
- (4) TDR Development Intensity Bonus. A Receiver Site may receive a F.A.R. bonus of ten percent (10%) of the maximum permitted square footage through the purchase of Transferable Development Rights from the owner of the Sender Site. Each additional square foot permitted with the bonus would require the purchase of the equivalent development right from the owner of the Sender Site.
- (5) TDR Height Bonus. A Receiver Site in the Urban Neighborhood Edge Sub-district may receive a height bonus of (TBD in Phase 2) additional stories, (TBD in Phase 2) feet per story, through the purchase of equivalent Transferable Development Rights from the owner of a Sending Site. A Receiver Site in the Urban Edge District may receive a height bonus of four stories, 11 feet per story through the purchase of equivalent Transferable Development Rights from the owner of a Sending Site. A Receiver Site in the Urban Waterfront Block may receive a height bonus of up to six stories, 11 feet per story through the purchase of equivalent Transferable Development Rights from the owner of a Sending Site.

Calculation and costs.

- (1) The square footage of a transferable development right for a unit shall be calculated and determined by dividing the permitted floor area of the sending site by the permitted density on said sending site. This calculation will yield a square-foot-per-unit constant. The approval of a site plan with development bonuses achieved through the purchase of Transferable Development Rights shall result in a simultaneous decrease in square footage and units so that both square footage and density will reach zero at the same time. Only whole units may be purchased and transferred to the receiving site. The foregoing, however, is subject to all limitations set forth herein and in the Comprehensive Plan.

- (2) The price of the Transferable Development Rights from the sender sites shall be determined by the owners.

Application Procedures.

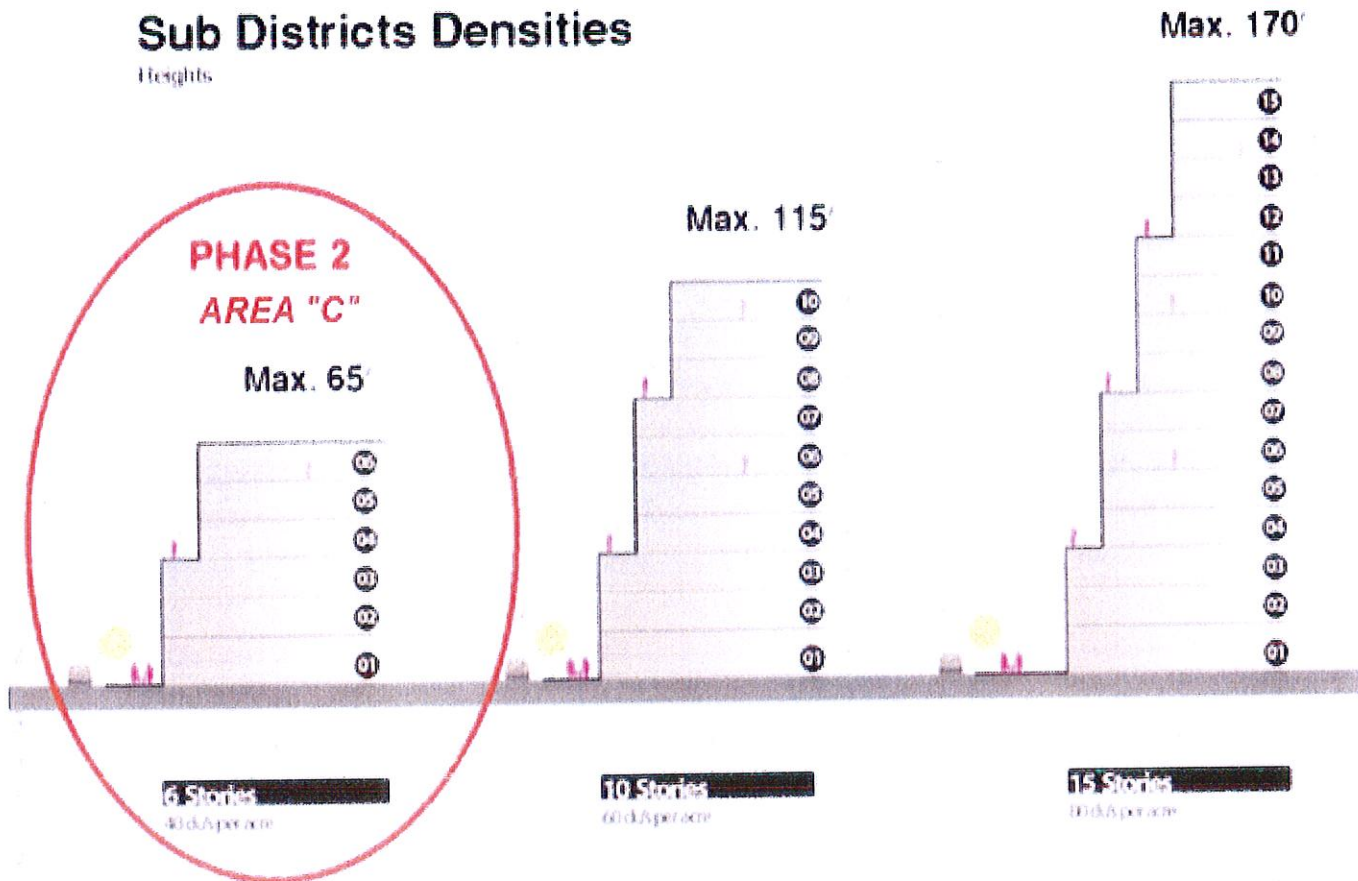
- (1) Application. An applicant for the transfer of development rights to a potential receiving site shall file a complete application with the Administrator, together with a complete site plan application and all requirements contained the Land Development Regulations including but not limited to the following. Every application shall contain, as applicable:
- a. The names, addresses and signatures of all fee simple owners of all properties included in the receiving site. "Fee simple owner" for the purpose of this requirement shall be defined as all parties having a financial interest, either direct or indirect, in the subject matter of the application. Such disclosure shall include, but not be limited to, disclosure of all natural persons having an ownership interest, direct or indirect, in all properties involved;
 - b. The street address, folio number and legal description of each parcel of land included in the potential receiving site, a description of adjacent lands, including land uses, densities, circulation systems, public facilities and the impact, if any, of the requested transfer of development rights;
 - c. A current certified survey, plans, including but not limited to a site plan elevation, landscaping, an area analysis of surrounding properties including but not limited to street elevations, height of buildings, surrounding floor area ratio and density and construction schedules;
 - d. A site conditions map including a three-dimensional model of the proposed development potential (site plan) without TDRs and a separate three-dimensional model showing the development potential utilizing the proposed transfer of development rights (both models shall be constructed of balsa wood, foam board, plastic, corrugated or like material) – computer generated models;
 - e. Status of financing, if applicable; evidence of ownership;
 - f. Amount of consideration, including purchase price of the property, an executed closing statement or an executed copy of the purchase and sale contract if the applicant is a contract purchaser;
 - g. A general description of the manner in which the project shall be constructed; impact, if any, of the transfer of development right to adjacent properties; and copies of any covenants affecting the receiving site(s);
 - h. An executed TDR purchase agreement with the owner of the Sender Site (may be made contingent upon Site Plan and TDR Development Bonus Approval), and;
 - i. Any other agreements required by the LDRs and this section or that may be reasonably requested by the Town Manager or other reviewing agencies.
- (2) Review by Administrator. The Administrator shall review the application and shall forward it to the Town Commission together with all site plans.
- (3) Approval. The application shall be considered and approved, approved with conditions, or denied by the Town Commission as part of the site plan approval process.

APPENDIX A

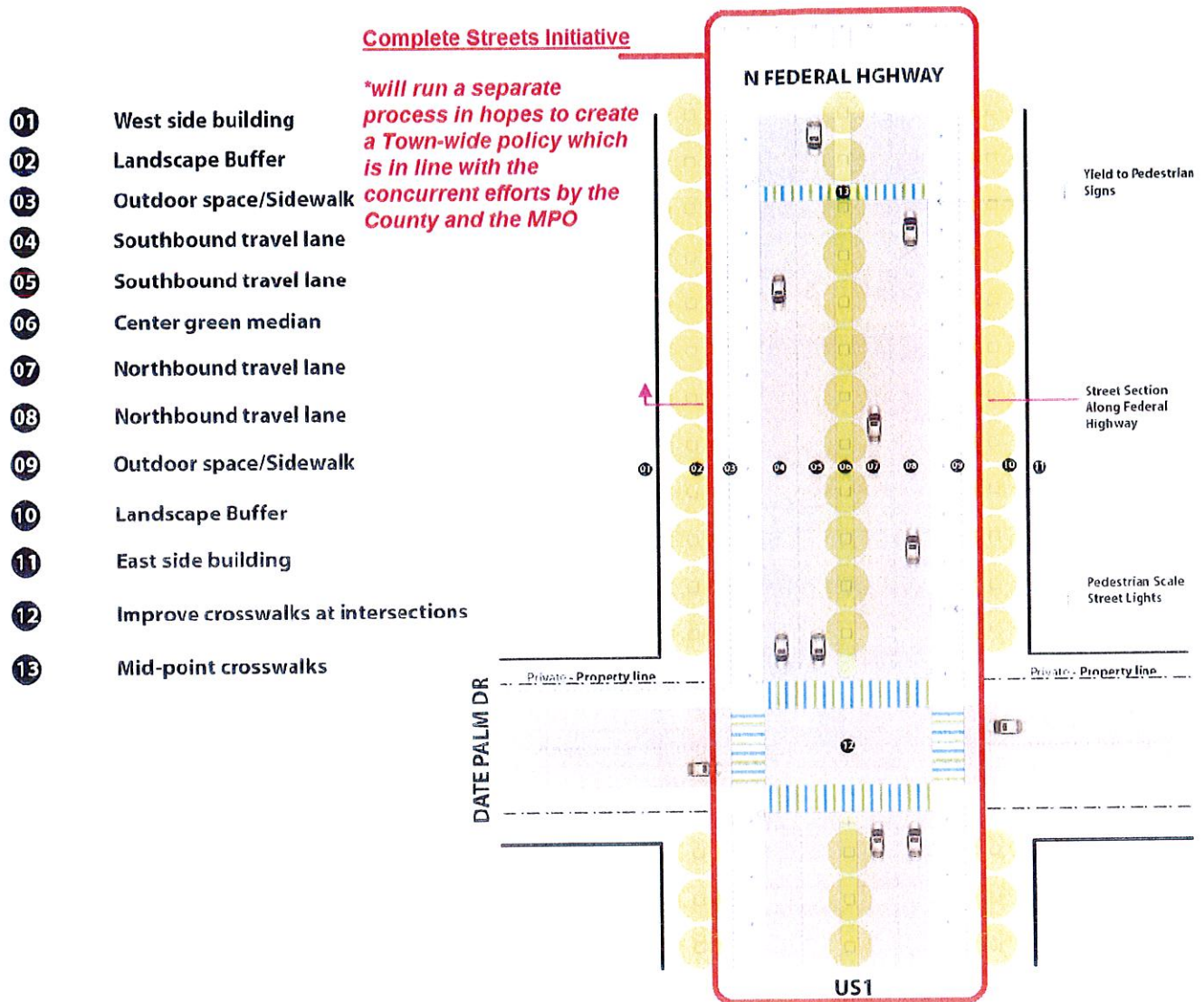
Sub districts heights/setbacks

Sub Districts Densities

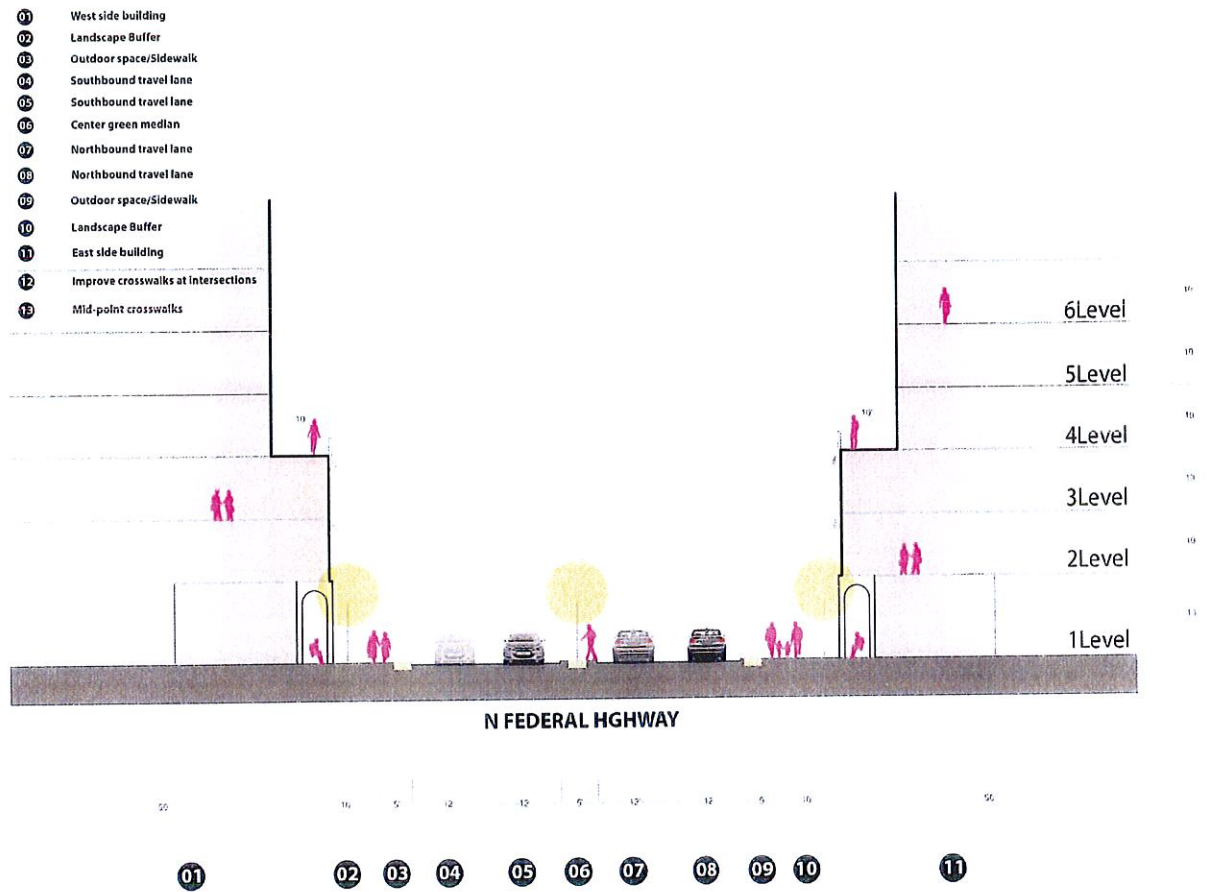
Heights



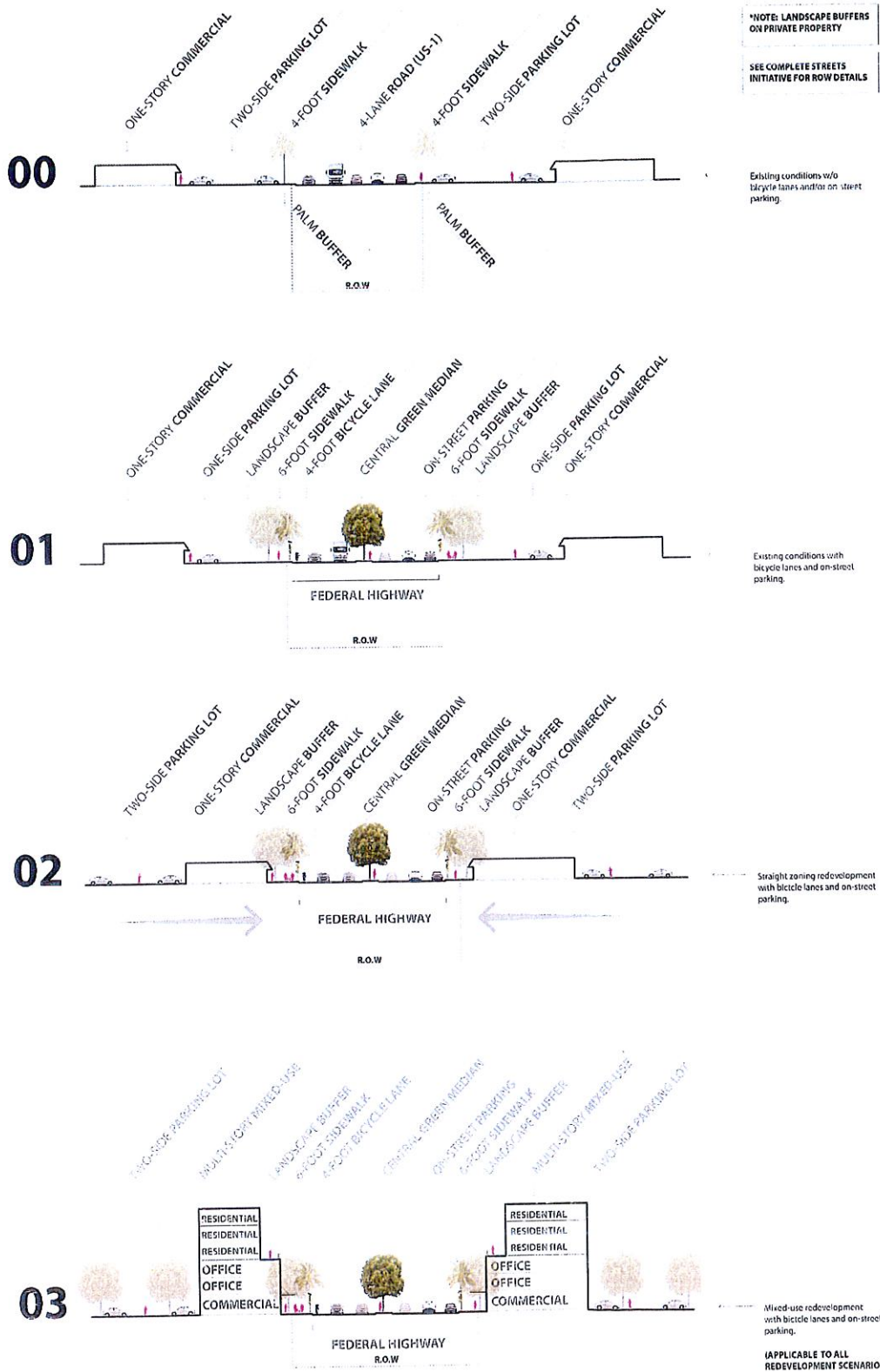
Complete Streets Initiative - Plan



Complete Streets Initiative - Section



Conceptual Process – *OPTIONS TO CONSIDER IN THIS SEPARATE PROCESS*



LAKE PARK WATERFRONT REVIVAL

"Cherishing the old, bringing in the new"

07.11.16 – PHASE 1

*Sample - Urban Edge development

REUSE PARK

FORESTED AREA

FORESTED AREA

EXISTING 2-STEP
RESIDENTIAL

EXISTING 2-STEP
RESIDENTIAL

RESTAURANT

2,753 SQFT

RETAIL/OFFICE

6,632

EXISTING 1-STEP
COMMERCIAL

KEY NOTES

- 01 OUTLINE OF PROPERTY LINE (PL)
- 02 DUMPSTER LOCATION
- 03 EXIT STAIR
- 04 BACK AREA
- 05 PARKING GARAGE
- 06 RESIDENTIAL/OFFICE LOBBY AREA
- 07 MEN/WOMEN'S RESTROOMS
- 08 OPEN SPACE
- 09 A/C UNITS/STORAGE/TRANSFORMER PUMP
- 10 DESIGNATED OFF-STREET LOADING ZONE
- 11 OUTLINE OF 10 UTILITY CEMENTED
- 12 FIRE HYDRANT
- 13 LIGHT POST
- 14 OUTLINE OF ELECTRIC BOX/ST
- 15 LANDSCAPE AREA
- 16 OUTLINE OF SHADE TREE (LOCATED 400' COURTESY)
- 17 BIKE STORAGE
- 18 FUTURE DRIVE/DRIVE & OUTSIDE DRIVEWAY
- 19 GREEN BUFFER (8' WIDE PROVIDED)
- 20 FUTURE DRIVEWAY/DRIVE/DRIVE/DRIVE/DRIVE
- 21 FUTURE COMPLETE STREETS INITIATIVE

ZONING

MUZ MIXED USE OVERLAY

USE	LEVEL	SF
RETAIL/OFFICE	1	6,632
RESTAURANT	1	2,753
OFFICE	1	6,919
1-4 UNIT LIVING	5-10	26,296
2-4 UNIT LIVING	5-10	15,824
3-4 UNIT LIVING	5-10	6,912
TOTAL		55,336

SITE AREA	SF
LOT	23,930

PARKING

MIN 2 SPACES PER 1,000 SF OF RETAIL/OFFICE
MIN 8 SPACES PER 1,000 SF OF RESTAURANT
MIN 1.5 SPACES PER 1,000 SF OF 1-4 UNIT LIVING
MIN 1.5 SPACES PER 1,000 SF OF 2-4 UNIT LIVING
MIN 1.5 SPACES PER 1,000 SF OF 3-4 UNIT LIVING

PARKING PROVIDED

LEVEL	SPACES
1	16
2	19
3	19
4	19
TOTAL	16 PROVIDED PER 1,000 SQ FT REQUIRED

TOWN
LAKE PARK
MUSEUM

MIXED-USE ZONING OVERLAY DISTRICT
COMMUNITY DEVELOPMENT
TOWN OF LAKE PARK

DATE
06.24.16

REVISIONS

SHEET

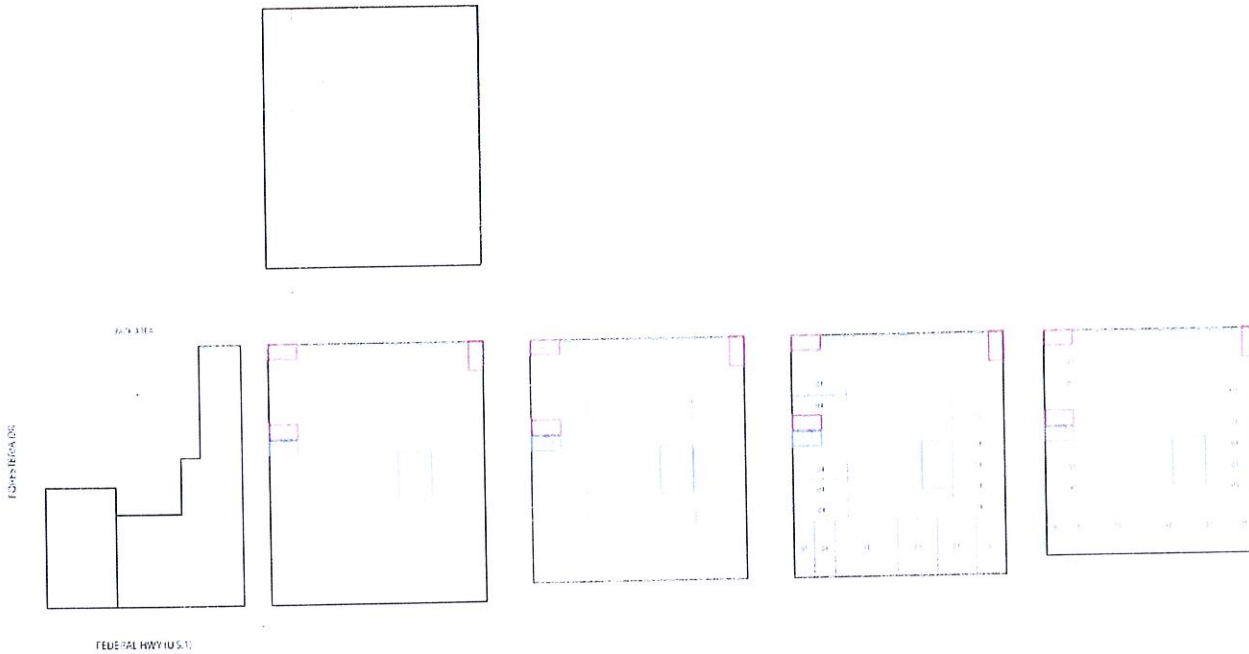
01 - SITE

Sample - Urban Edge development

*Sample



MIXED-USE ZONING OVERLAY DISTRICT
 COMMUNITY DEVELOPMENT
 TOWN OF LAKE PARK



DATE
 07.11.16

LEVEL 01

- RETAIL/OFFICE
- RESTAURANT
- PARKING GARAGE
- PARK AREA/PRISMETER
- LOBBY/ELEVATORS
- EGRESS STAIRS

LEVEL 02-04

- PARKING GARAGE
- CIRCULATING RAMP
- EGRESS STAIRS/ELEVATORS

LEVEL 05

- OFFICE/MULTI-USE
- EGRESS STAIRS/ELEVATORS

LEVEL 06-07

- LIVING
- 1 UNIT - 1 PER LEVEL
- 2 UNIT - 1 PER LEVEL
- 3 UNIT - 1 PER LEVEL
- EGRESS STAIRS/ELEVATORS

LEVEL 08-10

- LIVING
- 1 UNIT - 11 PER LEVEL
- 2 UNIT - 3 PER LEVEL
- 3 UNIT - 1 PER LEVEL
- EGRESS STAIRS/ELEVATORS

REVISIONS

SHEET

02-LEVELS

Sample - Urban Edge development - Elevations North & West

*Sample



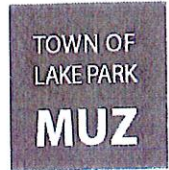
Sample - Urban Edge development - Elevations South & East

*Sample



04-ELEVATIONS

Sample - Urban Edge development



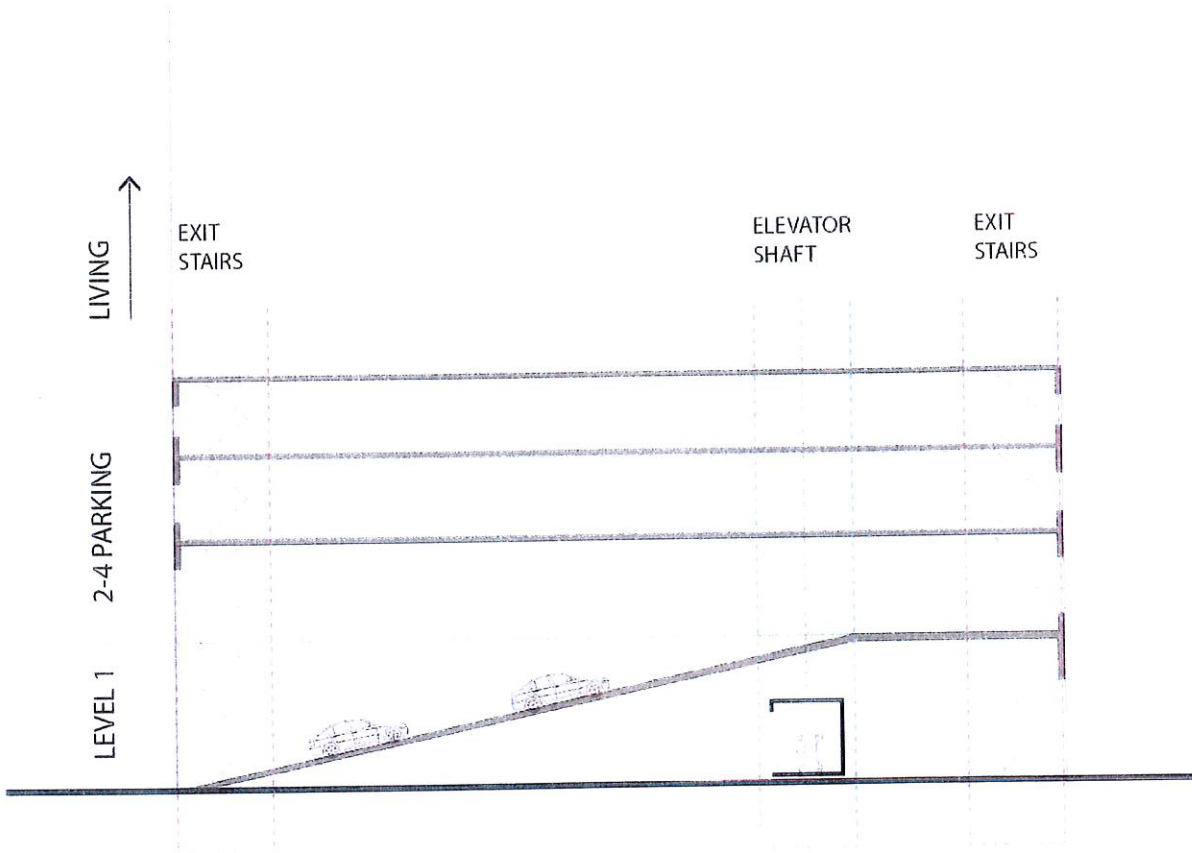
MIXED-USE ZONING OVERLAY DISTRICT
COMMITTEE DEVELOPMENT
TOWN OF LAKE PARK

DATE:
06.24.16

REVISIONS:

SHEET:

RAMP
SKETCH



NOTE: THIS IS ONLY BEING PROVIDED FOR COMPARATIVE PURPOSES SINCE CERTAIN FACTORS INCLUDED IN THE FINAL MIXED-USE ZONING OVERLAY DOCUMENT HAVE BEEN MODIFIED SINCE FEBRUARY 2016 AND MAY NOT BE CONSISTENT. THE FINAL ZONING PACKET OVERRIDES ANY INCONSISTENCIES FOUND IN THIS ECONOMIC IMPACT DOCUMENT.



ECONOMIC IMPACT ANALYSIS

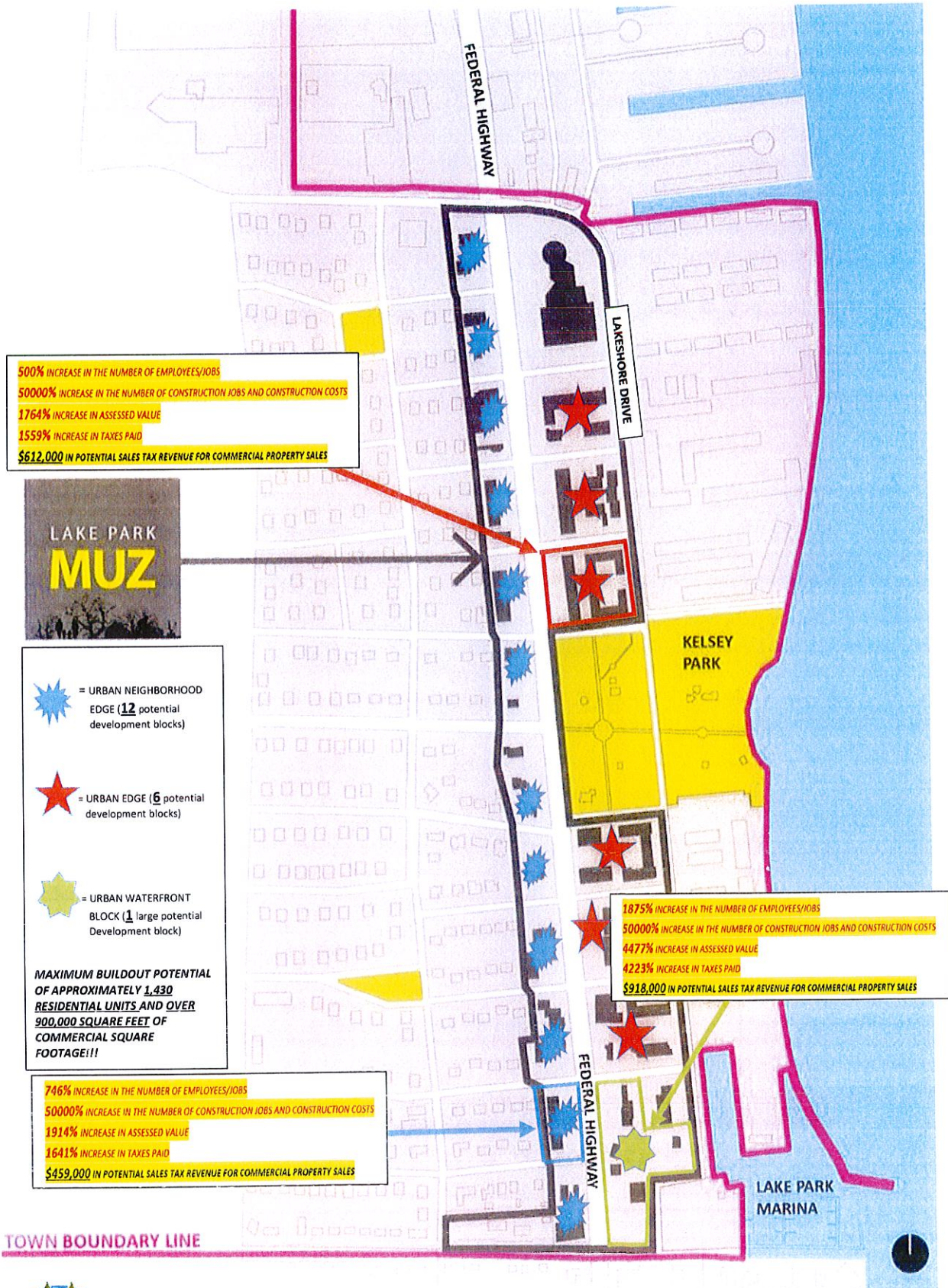
✦ *Property Tax*

✦ *Sales Tax*

LAKE PARK, FLORIDA

LAKESHORE DRIVE DRAINAGE REPAIRS

**MIXED-USE REDEVELOPMENT INITIATIVE – PROMOTING ECONOMIC DEVELOPMENT
ALONG THE CORRIDOR AND PROVIDING A RIPPLE EFFECT TO SURROUNDING
CORRIDORS AND NEIGHBORING COMMUNITIES**



*ALL VALUES REPRESENT ESTIMATES ONLY BASED ON AVAILABLE COMPARATIVE DATA

HYPOTHETICAL ESTIMATES

(1) Complete Buildout (East Side)

\$612,000 x 6 potential redevelopment blocks = **\$3,622,000** in potential sales tax revenue on commercial real estate sales)

(2) Complete Buildout (West Side)

\$459,000 x 12 potential redevelopment blocks = **\$5,508,000** in potential sales tax revenue on commercial real estate sales)

(3) Complete Buildout (Block Adjacent to Lake Park Harbor Marina)

\$918,000 in potential sales tax revenue on commercial real estate sales)

TOTAL Potential Buildout *Sales Tax Revenue* on Commercial Real Estate Sales: **\$11,566,800**

*ALL VALUES REPRESENT ESTIMATES ONLY BASED ON AVAILABLE COMPARATIVE DATA



COMPARATIVE ECONOMIC REVITALIZATION ANALYSIS

***ALL VALUES REPRESENT ESTIMATES ONLY BASED ON AVAILABLE COMPARATIVE DATA**

Mixed-Use Overlay Zoning District (MUZ)

***ALL VALUES REPRESENT ESTIMATES ONLY BASED ON AVAILABLE COMPARATIVE DATA**

EXISTING CORRIDOR

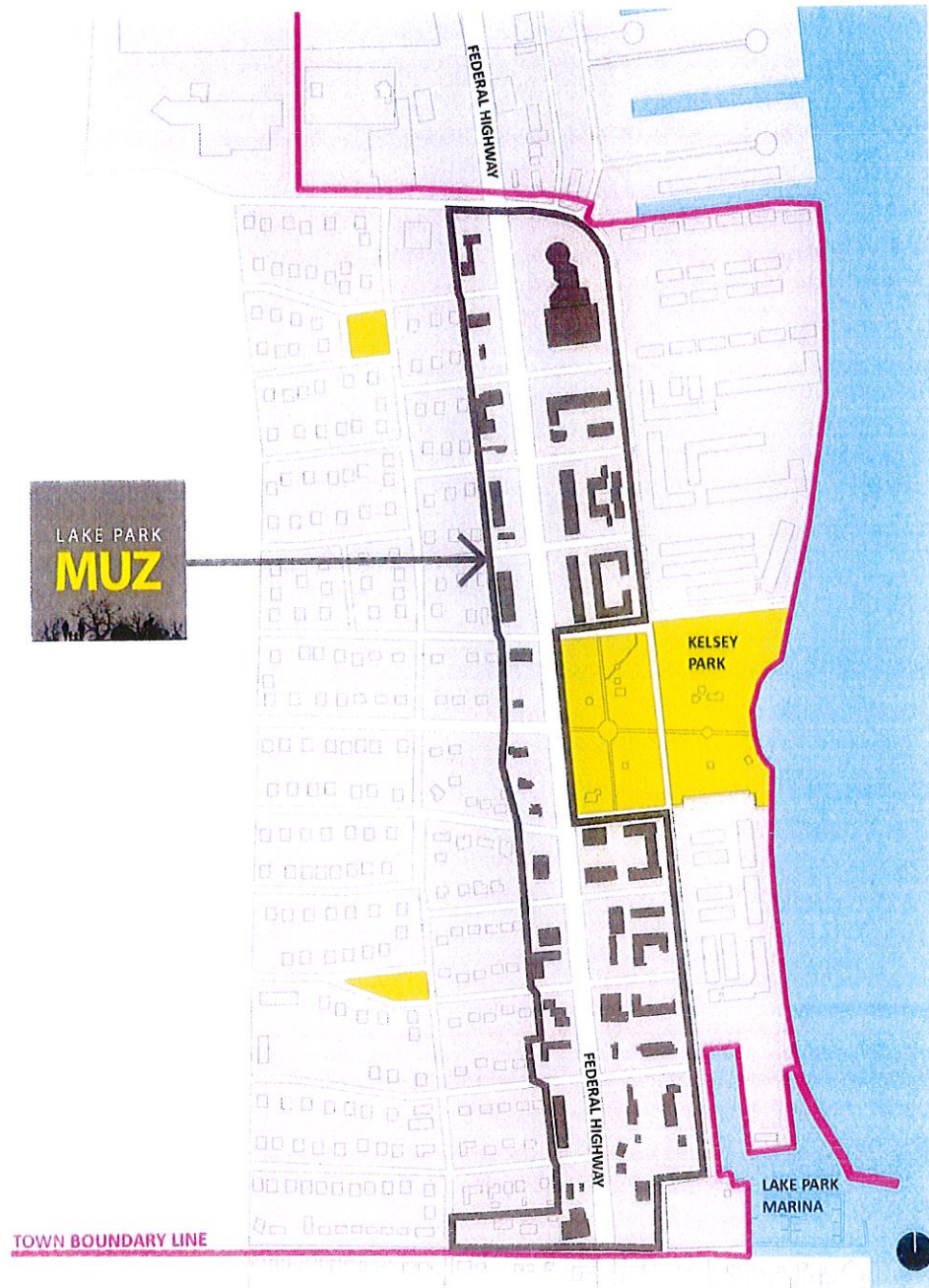


EXISTING FACTS:

- ➔ Nine (9) blocks on the east side; Twelve (12) block on the west side
- ➔ Approximately 3960 feet (0.75 miles) of prime intracoastal redevelopment area for economic development
- ➔ Currently improved with 30-40 year-old, one and two story commercial centers and residential condos (severely underutilized)

***ALL VALUES REPRESENT ESTIMATES ONLY BASED ON AVAILABLE COMPARATIVE DATA**

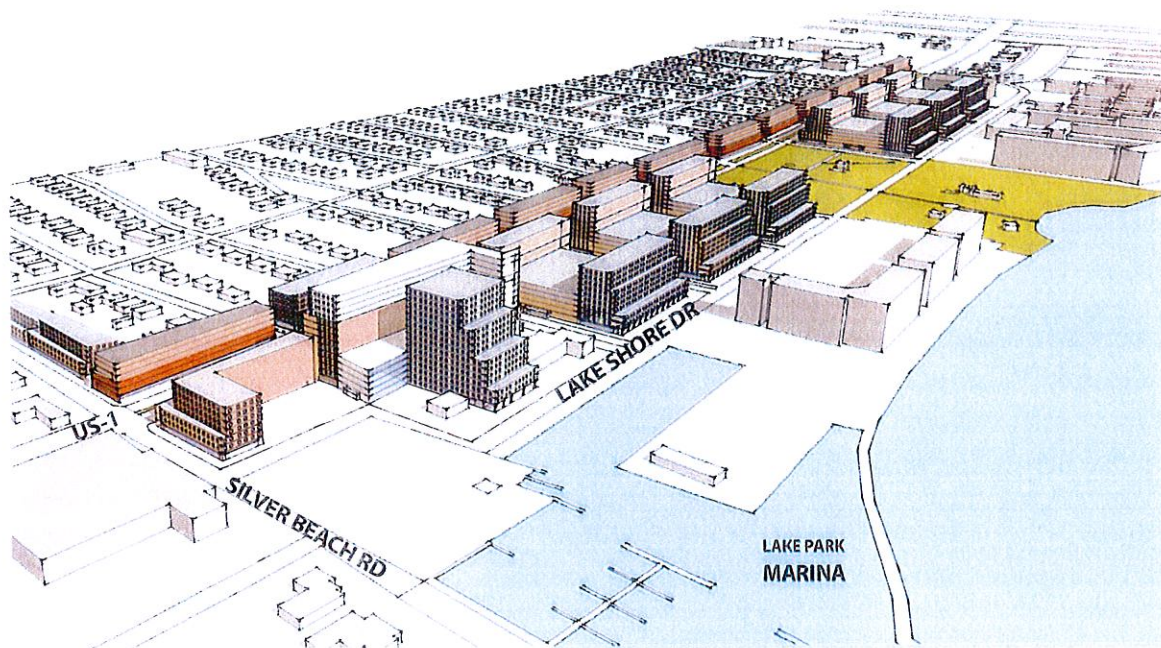
In an effort to promote redevelopment as an **economic revitalization effort** for the Town, the Town is introducing a development option for Mixed-Use development along the Federal Highway corridor through a Mixed-Use Zoning Overlay District (MUZ).



*ALL VALUES REPRESENT ESTIMATES ONLY BASED ON AVAILABLE COMPARATIVE DATA

Positive drainage along Lakeshore Drive is integral to promote this development initiative which the Town identifies as an economic force that will diversify the tax base; introduce a heightened number of jobs; and essentially significantly increase assessed property values and taxes by creating a “live, work and play” environment.

Once implemented and based on surrounding trends, this initiative will likely incorporate three large development transformations along the corridor within the next 5-10 years. At maximum capacity, the corridor would be transformed to the following:



***ALL VALUES REPRESENT ESTIMATES ONLY BASED ON AVAILABLE COMPARATIVE DATA**

INDIVIDUAL PARCEL ANALYSIS

***ALL VALUES REPRESENT ESTIMATES ONLY BASED ON AVAILABLE COMPARATIVE DATA**

Parcel #1: 200 Federal Highway (0.86 acres)

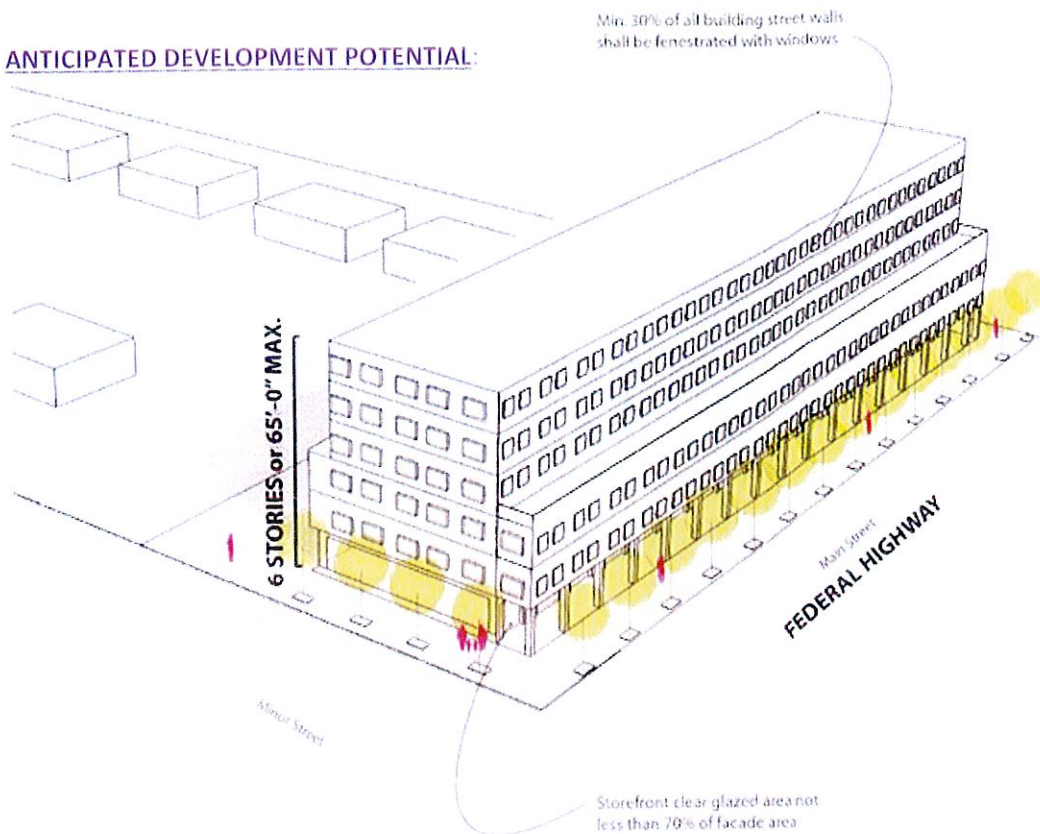


EXISTING IMPROVEMENTS: One-story commercial strip center. No residential units.

PROPOSED REDEVELOPMENT OPTION: Up to six (6) stories ; Up to 40 dwelling units per acre



ANTICIPATED DEVELOPMENT POTENTIAL:



EXISTING VS ANTICIPATED ECONOMIC DEVELOPMENT STIMULATORS *(existing development facts used for comparison – see Appendix A):*

Existing Number of Employees/Jobs: **15 (7 units – 10,608 square feet of total commercial space)**
Existing Number of Construction Jobs: **0**
Existing Assessed Value: **\$700,000**
Existing Taxes Paid: **\$20,716**

Anticipated Number of Employees: **112 (total of 45,000 square feet of commercial space – average 1 employee per 400 square feet)**
Anticipated Number of Construction Jobs: **500 (includes part-time and shift work – ALL trades)**
Anticipated Assessed Value: **\$13.4 million (commercial @ \$170/square foot and 34 residential units @ \$170,000 average per unit)**
Anticipated Taxes Paid: **\$340,000**

746% INCREASE IN THE NUMBER OF EMPLOYEES/JOBS

50000% INCREASE IN THE NUMBER OF CONSTRUCTION JOBS AND CONSTRUCTION COSTS

1914% INCREASE IN ASSESSED VALUE

1641% INCREASE IN TAXES PAID

\$459,000 IN POTENTIAL SALES TAX REVENUE FOR COMMERCIAL PROPERTY SALES

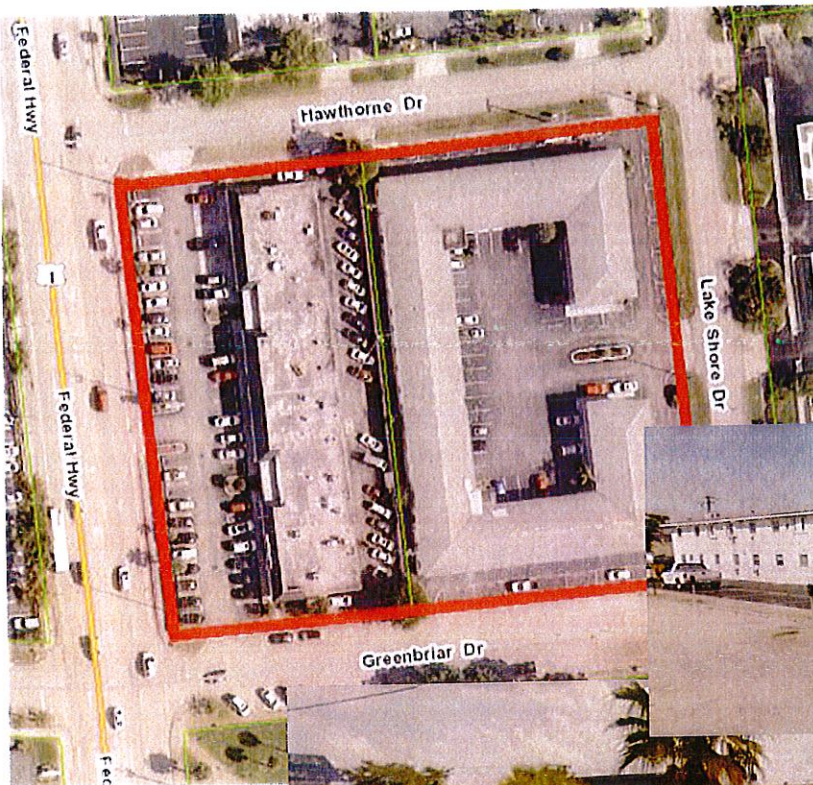
***ALL VALUES REPRESENT ESTIMATES ONLY BASED ON AVAILABLE COMPARATIVE DATA**

Parcel #2: 801 Federal Highway and
810 Lakeshore Drive (2.29 acres)

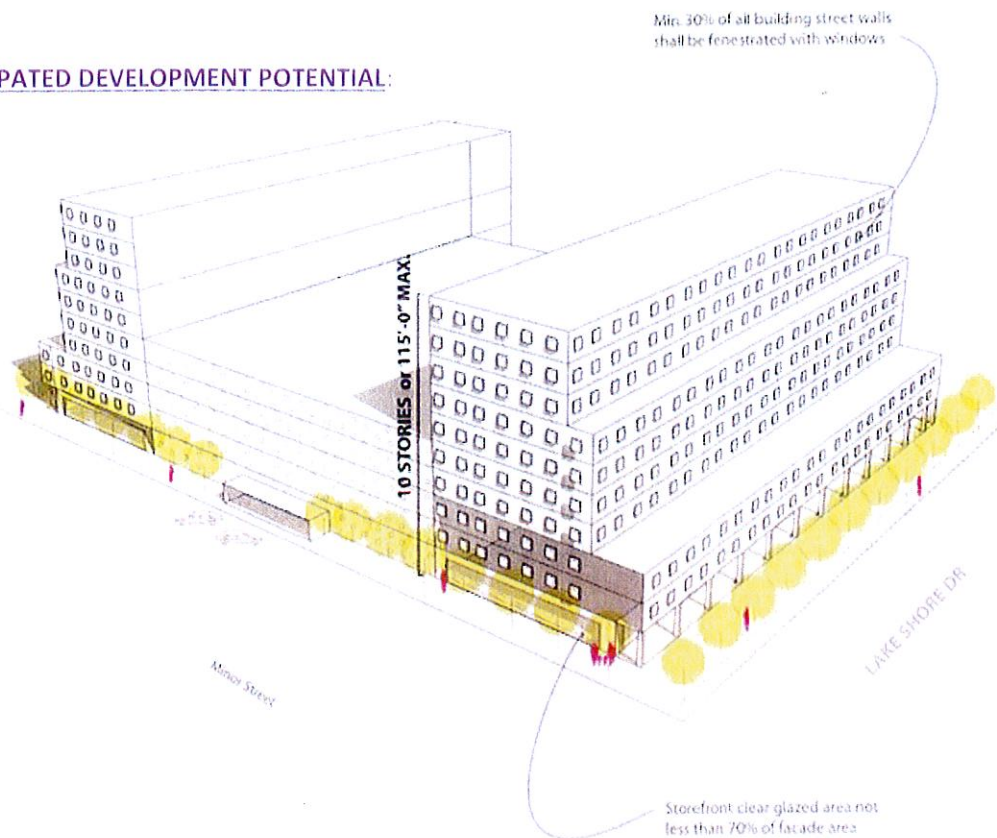


EXISTING IMPROVEMENTS: One-story commercial strip center. Two-story multi-family residential.

PROPOSED REDEVELOPMENT OPTION: Up to 10 stories; Up to 60 dwelling units per acre



ANTICIPATED DEVELOPMENT POTENTIAL:



EXISTING VS ANTICIPATED ECONOMIC DEVELOPMENT STIMULATORS *(existing development facts used for comparison – see Appendix A):*

Existing Number of Employees/Jobs: **30** (7 commercial units, including 2 restaurants – 12,638 square feet of total commercial space and approximately 45 residential units)

Existing Number of Construction Jobs: **0**

Existing Assessed Value: **\$2,250,000** total (average of \$50,000 per unit)

Existing Taxes Paid: **\$64,125** total (average of \$1,250 per unit)

Anticipated Number of Employees: **150** (total of 60,000 square feet of commercial space – average 1 employee per 400 square feet)

Anticipated Number of Construction Jobs: **500** (includes part-time and shift work – ALL trades)

Anticipated Assessed Value: **\$39.7 million** (commercial @ \$170/square foot and 137 residential units @ \$215,000 average per unit)

Anticipated Taxes Paid: **\$1 million**

500% INCREASE IN THE NUMBER OF EMPLOYEES/JOBS

50000% INCREASE IN THE NUMBER OF CONSTRUCTION JOBS AND CONSTRUCTION COSTS

1764% INCREASE IN ASSESSED VALUE

1559% INCREASE IN TAXES PAID

\$612,000 IN POTENTIAL SALES TAX REVENUE FOR COMMERCIAL PROPERTY SALES

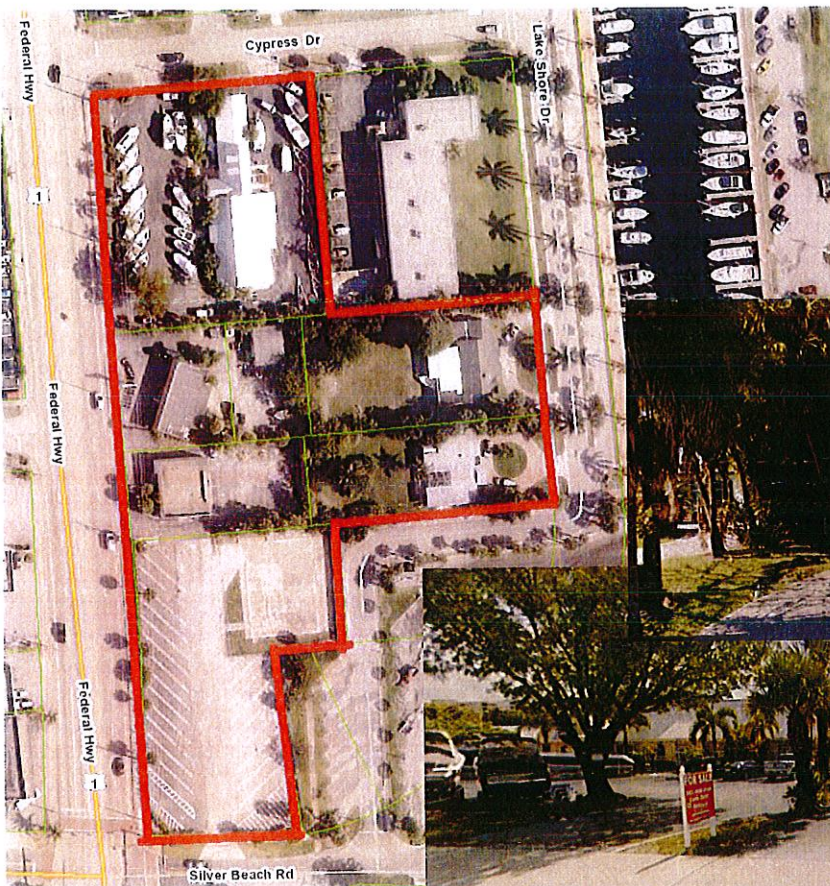
***ALL VALUES REPRESENT ESTIMATES ONLY BASED ON AVAILABLE COMPARATIVE DATA**

Parcel #3: 115, 131, 139, 215 Federal Highway
and 126, 138 Lakeshore Drive (2.51 acres)

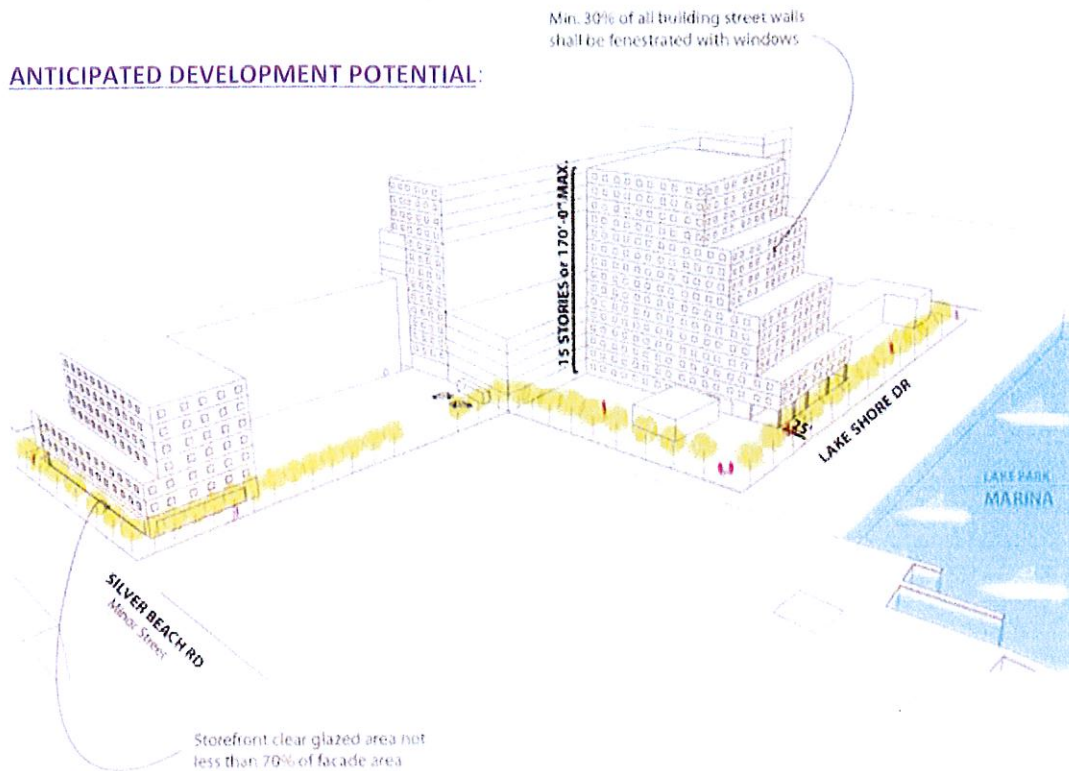


EXISTING IMPROVEMENTS: One-story commercial along Federal Highway and Single-Family residential along Lakeshore Drive.

PROPOSED REDEVELOPMENT OPTION: Up to 15 stories; Up to 80 dwelling units per acre



ANTICIPATED DEVELOPMENT POTENTIAL:



EXISTING VS ANTICIPATED ECONOMIC DEVELOPMENT STIMULATORS *(existing development facts used for comparison – see Appendix A):*

Existing Number of Employees/Jobs: **12 (3 commercial units – 10,635 square feet of total commercial space and two single-family homes)**

Existing Number of Construction Jobs: **0**

Existing Assessed Value: **\$1,771,031**

Existing Taxes Paid: **\$47,349**

Anticipated Number of Employees: **225 (total of 90,000 square feet of commercial space – average 1 employee per 400 square feet)**

Anticipated Number of Construction Jobs: **500 (includes part-time and shift work – ALL trades)**

Anticipated Assessed Value: **\$79.3 million (commercial @ \$170/square foot and 200 residential units @ \$320,000 average per unit)**

Anticipated Taxes Paid: **\$2 million**

1875% INCREASE IN THE NUMBER OF EMPLOYEES/JOBS

50000% INCREASE IN THE NUMBER OF CONSTRUCTION JOBS AND CONSTRUCTION COSTS

4477% INCREASE IN ASSESSED VALUE

4223% INCREASE IN TAXES PAID

\$918,000 IN POTENTIAL SALES TAX REVENUE FOR COMMERCIAL PROPERTY SALES

***ALL VALUES REPRESENT ESTIMATES ONLY BASED ON AVAILABLE COMPARATIVE DATA**

APPENDIX “A”

Palm Beach County Development Data Used for Estimates

***ALL VALUES REPRESENT ESTIMATES ONLY BASED ON AVAILABLE COMPARATIVE DATA**

PARCEL # 1

Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Hornestead Exemption



Location Address 200 FEDERAL HWY
 Municipality LAKE PARK
 Parcel Control Number 36-43-42-20-01-038-0310
 Subdivision KELSEY CITY IN PB 8 PGS 15 TO 18, 23, 27 & 34 TO 37 INC
 Official Records Book 04993 Page 1607
 Sale Date AUG-1986
 Legal Description KELSEY CITY LTS 31 TO 40 INC BLK 38

Owners

MASON MICHAEL D

Mailing address

PO BOX 27003
 SAN FRANCISCO CA 94127 0003

Sales Date	Price	OR Book/Page	Sale Type	Owner
AUG-1986	\$570,000	04993 / 1607	WARRANTY DEED	
MAY-1986	\$100	04890 / 0819	QUIT CLAIM	
MAY-1986	\$100	04936 / 1256	QUIT CLAIM	

No Exemption Information Available.

Number of Units 0 *Total Square Feet 10608 Acres 0.8609
 Use Code 1100 - STORES Zoning C1 - Business (36-LAKE PARK)

Tax Year	2015	2014	2013
Improvement Value	\$0	\$0	\$0
Land Value	\$0	\$0	\$0
Total Market Value	\$700,000	\$700,000	\$700,000

All values are as of January 1st each year

Tax Year	2015	2014	2013
Assessed Value	\$700,000	\$700,000	\$700,000
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$700,000	\$700,000	\$700,000

Tax Year	2015	2014	2013
Ad Valorem	\$17,418	\$17,647	\$17,741
Non Ad Valorem	\$3,298	\$3,457	\$3,340
Total tax	\$20,716	\$21,104	\$21,081

Moorings - Lantana

PARID	OWNER_NAME	SITUS_ADDRESS	Assessed Value	Taxes Paid 2015	SALE_PRICE	PROPERTY_USE
40434	DIGREGORIO MICHAEL &	826 N DIXIE HWY 1	\$6,826.00	\$155.00	\$582,075.00	STORE/OFF/RES CONDO
40434	DIGREGORIO MICHAEL &	826 N DIXIE HWY 2	\$7,224.00	\$164.00	\$582,075.00	STORE/OFF/RES CONDO
40434	DIGREGORIO MICHAEL &	826 N DIXIE HWY 3	\$18,257.00	\$415.00	\$582,075.00	STORE/OFF/RES CONDO
40434	DIGREGORIO MICHAEL &	826 N DIXIE HWY 4	\$21,555.00	\$490.00	\$582,075.00	STORE/OFF/RES CONDO
40434	DIGREGORIO MICHAEL &	826 N DIXIE HWY 5	\$14,389.00	\$327.00	\$582,075.00	STORE/OFF/RES CONDO
40434	DIGREGORIO MICHAEL &	826 N DIXIE HWY 6	\$6,144.00	\$140.00	\$582,075.00	STORE/OFF/RES CONDO
40434	DIGREGORIO MICHAEL &	826 N DIXIE HWY 7	\$5,006.00	\$114.00	\$582,075.00	STORE/OFF/RES CONDO
40434	DIGREGORIO MICHAEL &	826 N DIXIE HWY 8	\$5,575.00	\$127.00	\$582,075.00	STORE/OFF/RES CONDO
40434	DIGREGORIO MICHAEL &	826 N DIXIE HWY 9	\$22,351.00	\$508.00	\$582,075.00	STORE/OFF/RES CONDO
40434	DIGREGORIO MICHAEL &	826 N DIXIE HWY 10	\$31,450.00	\$715.00	\$582,075.00	STORE/OFF/RES CONDO
40434	DIGREGORIO MICHAEL &	826 N DIXIE HWY 11	\$55,309.00	\$1,257.00	\$115,000.00	STORE/OFF/RES CONDO
40434	TAKE COURAGE LLC	826 N DIXIE HWY 12	\$12,937.00	\$294.00	\$115,000.00	STORE/OFF/RES CONDO
40434	TAKE COURAGE LLC	826 N DIXIE HWY 13	\$11,617.00	\$264.00	\$115,000.00	STORE/OFF/RES CONDO
40434	TAKE COURAGE LLC	826 N DIXIE HWY 14	\$14,257.00	\$324.00	\$115,000.00	STORE/OFF/RES CONDO
40434	TAKE COURAGE LLC	826 N DIXIE HWY 15	\$39,865.00	\$907.00	\$115,000.00	STORE/OFF/RES CONDO
40434	TAKE COURAGE LLC	822 N DIXIE HWY 16	\$210,937.00	\$4,795.00	\$120,000.00	STORE/OFF/RES CONDO
40434	CRESCENT STAFFING SOLUTIONS INC	802 N DIXIE HWY 23	\$11,329.00	\$466.00	\$130,000.00	STORE/OFF/RES CONDO
40434	SMITH JUDY HIDALGO	802 N DIXIE HWY 24	\$15,156.00	\$624.00	\$130,000.00	STORE/OFF/RES CONDO
40434	SMITH JUDY HIDALGO	802 N DIXIE HWY 25	\$16,881.00	\$695.00	\$130,000.00	STORE/OFF/RES CONDO
40434	SMITH JUDY HIDALGO	802 N DIXIE HWY 26	\$15,906.00	\$654.00	\$130,000.00	STORE/OFF/RES CONDO
40434	SMITH JUDY HIDALGO	802 N DIXIE HWY 27	\$14,031.00	\$578.00	\$130,000.00	STORE/OFF/RES CONDO
40434	SMITH JUDY HIDALGO	802 N DIXIE HWY 28	\$12,530.00	\$516.00	\$130,000.00	STORE/OFF/RES CONDO
40434	SMITH JUDY HIDALGO	802 N DIXIE HWY 29	\$8,029.00	\$330.00	\$130,000.00	STORE/OFF/RES CONDO
40434	SMITH JUDY HIDALGO	111 MOORINGS DR 30	\$45,388.00	\$1,348.00	\$205,578.00	STORE/OFF/RES CONDO
40434	CP REALTY AT THE MOORINGS AT LANTANA	111 MOORINGS DR 31	\$23,257.00	\$694.00	\$205,578.00	STORE/OFF/RES CONDO
40434	CP REALTY AT THE MOORINGS AT LANTANA	113 MOORINGS DR 32	\$36,961.00	\$844.00	\$61,983.00	STORE/OFF/RES CONDO
40434	CORREDOR MELVIN	113 MOORINGS DR 33	\$24,144.00	\$590.00	\$61,983.00	STORE/OFF/RES CONDO
40434	CORREDOR MELVIN	113 MOORINGS DR 34	\$43,297.00	\$989.00	\$61,983.00	STORE/OFF/RES CONDO
40434	CORREDOR MELVIN	113 MOORINGS DR 35	\$70,357.00	\$1,607.00	\$61,983.00	STORE/OFF/RES CONDO
40434	CORREDOR MELVIN	115 MOORINGS DR 36	\$36,311.00	\$1,074.00	\$94,000.00	STORE/OFF/RES CONDO
40434	SPLASH HOLDINGS LLC	115 MOORINGS DR 37	\$41,863.00	\$1,238.00	\$94,000.00	STORE/OFF/RES CONDO
40434	SPLASH HOLDINGS LLC	117 MOORINGS DR 38	\$78,277.00	\$1,779.00	\$182,000.00	STORE/OFF/RES CONDO
40434	PRINCE FAMILY HOLDINGS LLC	117 MOORINGS DR 39	\$60,985.00	\$1,386.00	\$182,000.00	STORE/OFF/RES CONDO
40434	PRINCE FAMILY HOLDINGS LLC					

40434	CIOCI TRIPP &	121 MOORINGS DR 40	\$41,562.00	\$1,230.00	\$250,000.00	STORE/OFF/RES CONDO
40434	KROUSE KENNETH R &	802 W WINDWARD WAY	\$55,730.00	\$805.00	\$250,000.00	CONDOMINIUM
40434	TEOFRIO ROBERT P	802 W WINDWARD WAY	\$55,902.00	\$1,697.00	\$88,900.00	CONDOMINIUM
40434	CAUDRILLIER FRANCOIS	802 W WINDWARD WAY	\$89,177.00	\$2,567.00	\$75,600.00	CONDOMINIUM
40434	STEIN SHELLEY	802 W WINDWARD WAY	\$40,725.00	\$565.00	\$193,900.00	CONDOMINIUM
40434	POWELL MARIO &	802 W WINDWARD WAY	\$71,874.00	\$2,126.00	\$63,000.00	CONDOMINIUM
40434	DURBIN LYNNE R	802 W WINDWARD WAY	\$37,458.00	\$496.00	\$233,000.00	CONDOMINIUM
40434	CONSTANTINO JUDITE	802 W WINDWARD WAY	\$81,070.00	\$2,207.00	\$87,500.00	CONDOMINIUM
40434	RENEE GRUSKIN ENTERPRISES LLC	802 W WINDWARD WAY	\$74,536.00	\$2,178.00	\$10.00	CONDOMINIUM
40434	HIBBARD JAY M &	802 W WINDWARD WAY	\$69,212.00	\$2,045.00	\$66,000.00	CONDOMINIUM
40434	JANNINI EIJIA L	802 W WINDWARD WAY	\$55,730.00	\$794.00	\$10.00	CONDOMINIUM
40434	FERNANDES JOSE &	802 W WINDWARD WAY	\$115,000.00	\$2,673.00	\$123,000.00	CONDOMINIUM
40434	NAFAN LP	802 W WINDWARD WAY	\$76,230.00	\$2,088.00	\$52,500.00	CONDOMINIUM
40434	FILHO WILSON FRAGA DE ALMEIDA	802 W WINDWARD WAY	\$69,212.00	\$2,045.00	\$55,900.00	CONDOMINIUM
40434	GESTION C J L S INC	802 W WINDWARD WAY	\$84,700.00	\$2,302.00	\$96,500.00	CONDOMINIUM
40434	BESSET SYLVAIN P &	802 W WINDWARD WAY	\$90,508.00	\$2,607.00	\$70,000.00	CONDOMINIUM
40434	KAMINOFF LESLIE &	802 W WINDWARD WAY	\$74,536.00	\$2,178.00	\$10.00	CONDOMINIUM
40434	HAIDAR FAISAL &	802 W WINDWARD WAY	\$89,177.00	\$2,567.00	\$285,900.00	CONDOMINIUM
40434	RYDZEWSKI ADAM	802 W WINDWARD WAY	\$66,447.00	\$885.00	\$323,900.00	CONDOMINIUM
40434	PENSYL ANNA M	802 W WINDWARD WAY	\$82,522.00	\$2,370.00	\$365,000.00	CONDOMINIUM
40434	TEN HOEVE RONALD &	802 W WINDWARD WAY	\$72,540.00	\$2,139.00	\$206,000.00	CONDOMINIUM
40434	SHINA AMIR	802 W WINDWARD WAY	\$93,500.00	\$2,216.00	\$100,450.00	CONDOMINIUM
40434	THOMPSON COURTNEY R ENTRPRSES INC	802 W WINDWARD WAY	\$81,675.00	\$2,579.00	\$243,900.00	CONDOMINIUM
40434	PERESS BARBARA B	802 W WINDWARD WAY	\$41,798.00	\$588.00	\$79,750.00	CONDOMINIUM
40434	JFJC REAL ESTATE LLP	802 W WINDWARD WAY	\$121,500.00	\$2,811.00	\$115,000.00	CONDOMINIUM
40434	AUMOLA JAAKKO &	802 W WINDWARD WAY	\$48,582.00	\$1,495.00	\$74,000.00	CONDOMINIUM
40434	SALHA HANI H &	802 W WINDWARD WAY	\$69,878.00	\$2,058.00	\$52,500.00	CONDOMINIUM
40434	LEVY DAPHNE G	802 W WINDWARD WAY	\$129,500.00	\$2,981.00	\$305,000.00	CONDOMINIUM
40434	OVASKA TIMO &	802 W WINDWARD WAY	\$69,878.00	\$2,058.00	\$61,000.00	CONDOMINIUM
40434	AFRIAT ALON	802 W WINDWARD WAY	\$72,540.00	\$2,139.00	\$63,000.00	CONDOMINIUM
40434	IRISLEY KRISTIN M &	802 W WINDWARD WAY	\$69,878.00	\$2,058.00	\$10.00	CONDOMINIUM
40434	COHEN SHIRLEY	802 W WINDWARD WAY	\$87,450.00	\$2,246.00	\$117,000.00	CONDOMINIUM
40434	HARVEST HOME FUND LLC	802 W WINDWARD WAY	\$69,878.00	\$2,058.00	\$49,900.00	CONDOMINIUM
40434	CASTRO JUAN G &	802 W WINDWARD WAY	\$72,540.00	\$2,139.00	\$259,000.00	CONDOMINIUM

40434	LEMME RAYMOND TRUST	802 W WINDWARD WAY	\$57,233.00	\$1,723.00	\$10.00	CONDOMINIUM
40434	SCHWARTZ RANDY	802 W WINDWARD WAY	\$129,500.00	\$2,981.00	\$153,000.00	CONDOMINIUM
40434	GREENWICH CAPITAL LLC	802 W WINDWARD WAY	\$89,843.00	\$2,579.00	\$10.00	CONDOMINIUM
40434	MALONE SUH GROUP LTD	802 W WINDWARD WAY	\$90,508.00	\$2,376.00	\$345,900.00	CONDOMINIUM
40434	DASILVA LONI	802 W WINDWARD WAY	\$83,188.00	\$2,152.00	\$345,000.00	CONDOMINIUM
40434	BRITT HARRY A &	802 W WINDWARD WAY	\$56,802.00	\$813.00	\$10.00	CONDOMINIUM
40434	MARCUS STEVEN &	802 W WINDWARD WAY	\$57,233.00	\$1,723.00	\$10.00	CONDOMINIUM
40434	GESTION CILS INC	802 W WINDWARD WAY	\$119,900.00	\$2,996.00	\$139,850.00	CONDOMINIUM
40434	ANDREOLAS CHRISTO &	802 W WINDWARD WAY	\$57,233.00	\$1,723.00	\$10.00	CONDOMINIUM
40434	WEST PALM PROPERTY INVESTMENTS INC	802 W WINDWARD WAY	\$85,910.00	\$2,326.00	\$10.00	CONDOMINIUM
40434	MAJUVA INC	802 W WINDWARD WAY	\$51,909.00	\$1,582.00	\$180,000.00	CONDOMINIUM
40434	EOM 1 PROPERTIES	802 W WINDWARD WAY	\$82,280.00	\$2,231.00	\$57,000.00	CONDOMINIUM
40434	AMIATO HOLLY M	802 W WINDWARD WAY	\$79,860.00	\$2,303.00	\$10.00	CONDOMINIUM
40434	MAZZARI JOHN J &	802 W WINDWARD WAY	\$70,543.00	\$2,070.00	\$10.00	CONDOMINIUM
40434	WEST PALM PROPERTY INVESTMENTS INC	802 W WINDWARD WAY	\$122,000.00	\$2,822.00	\$142,000.00	CONDOMINIUM
40434	BURNS CHARLIE	802 W WINDWARD WAY	\$116,000.00	\$1,820.00	\$153,000.00	CONDOMINIUM
40434	SENA FRANCESCA	802 W WINDWARD WAY	\$66,550.00	\$1,963.00	\$272,000.00	CONDOMINIUM
40434	SAARELA MARITA A &	802 W WINDWARD WAY	\$93,500.00	\$2,385.00	\$1.00	CONDOMINIUM
40434	GREENFIELD JOEL M	802 W WINDWARD WAY	\$72,642.00	\$911.00	\$162,000.00	CONDOMINIUM
40434	LEMME RAYMOND TRUST	802 W WINDWARD WAY	\$91,839.00	\$2,633.00	\$10.00	CONDOMINIUM
40434	HEXAN HURRICANES INC	802 W WINDWARD WAY	\$130,000.00	\$2,992.00	\$10.00	CONDOMINIUM
40434	ALLENSON RICHARD &	802 W WINDWARD WAY	\$90,508.00	\$2,592.00	\$150,000.00	CONDOMINIUM
40434	BESSET SYLVAIN	802 W WINDWARD WAY	\$91,174.00	\$2,620.00	\$10.00	CONDOMINIUM
40434	RENE DOUCET &	802 W WINDWARD WAY	\$95,590.00	\$2,557.00	\$135,000.00	CONDOMINIUM
TOTAL:			\$5,642,591.00	\$145,271.00	\$6,392,001.00	
AVERAGE:			\$62,006.49	\$1,596.38	\$170000 (average assessed is \$135,000)	(not including \$10 warranty deeds)

DO NOT USE - special assessments
included - use average sale price
instead for average assessed value

→ used for
Parcel #1 comparative
analysis

(45,000 SF) Commercial space ~ \$170 / s.f. assessed

PARCEL # 2



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Homestead Exemption **E-file**



Location Address 801 FEDERAL HWY
 Municipality LAKE PARK
 Parcel Control Number 36-43-42-20-01-119-0020
 Subdivision KELSEY CITY IN PB 8 PGS 15 TO 18, 23, 27 & 34 TO 37 INC
 Official Records Book 14853 Page 1913
 Sale Date FEB-2003
 Legal Description KELSEY CITY LTS 2 TO 15 INC /LESS W 20 FT RD R/W IN LTS 8 & 9/ BLK 119

Owners

LAKE PARK SHOPPES LLC

Mailing address

PO BOX 530078
 LAKE PARK FL 33403 8900

Sales Date	Price	OR Book/Page	Sale Type	Owner
FEB-2003	\$10	14853 / 1913	WARRANTY DEED	LAKE PARK SHOPPES LLC
APR-2001	\$950,000	12494 / 1024	WARRANTY DEED	ANSAY RICHARD M TR &
JUL-1999	\$614,000	11251 / 0277	WARRANTY DEED	
SEP-1983	\$650,000	04051 / 0484	WARRANTY DEED	
SEP-1983	\$100	04051 / 0514	WARRANTY DEED	

1 2

No Exemption Information Available.

Number of Units 0 *Total Square Feet 12638 Acres 1.0615
 Use Code 1100 - STORES Zoning C1 - Business (36-LAKE PARK)

Tax Year	2015	2014	2013
Improvement Value	\$616,090	\$570,317	\$526,581
Land Value	\$388,416	\$388,416	\$369,920
Total Market Value	\$1,004,506	\$958,733	\$896,501

All values are as of January 1st each year

Tax Year	2015	2014	2013
Assessed Value	\$966,306	\$878,460	\$798,600
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$966,306	\$878,460	\$798,600

Tax Year	2015	2014	2013
Ad Valorem	\$24,331	\$22,756	\$20,983
Non Ad Valorem	\$10,564	\$11,133	\$10,812
Total tax	\$34,895	\$33,889	\$31,795



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Homestead Exemption **E-file**



Location Address 810 LAKE SHORE DR 37
 Municipality LAKE PARK
 Parcel Control Number 36-43-42-21-18-000-0370
 Subdivision LAKE VIEW COND APTS
 Official Records Book 08005 Page 1081
 Sale Date NOV-1993
 Legal Description LAKE VIEW COND APTS UNIT 37 *

Owners

AIUTO A DINA
 AIUTO STEVE &

Mailing address

5985 MARKEL RD
 COTTRELLVILLE MI 48039 2103

Sales Date	Price	OR Book/Page	Sale Type	Owner
NOV-1993	\$100	08005 / 1081	QUIT CLAIM	AIUTO STEVE &
SEP-1993	\$100	07885 / 0221	CERT OF TITLE	
APR-1989	\$40,000	06058 / 1259	WARRANTY DEED	
JAN-1977	\$22,500	02645 / 0849	WARRANTY DEED	

No Exemption Information Available.

Number of Units 1 *Total Square Feet 775 Acres
 Use Code 0400 - CONDOMINIUM Zoning R2A - Multiple Family Residential (36-LAKE PARK)

Tax Year	2015	2014	2013
Improvement Value	\$50,000	\$43,500	\$41,500
Land Value	\$0	\$0	\$0
Total Market Value	\$50,000	\$43,500	\$41,500

All values are as of January 1st each year

Tax Year	2015	2014	2013
Assessed Value	\$41,927	\$38,115	\$34,650
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$41,927	\$38,115	\$34,650

Tax Year	2015	2014	2013
Ad Valorem	\$1,104	\$1,002	\$930
Non Ad Valorem	\$321	\$324	\$276
Total tax	\$1,425	\$1,326	\$1,206

* 45 units in the complex

480 Hibiscus - West Palm Beach

PARID	OWNER_NAME	SITUS_ADDRESS	Assessed Value	Taxes 2015	SALE_PRICE	PROPERTY_USE
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 201	210,000.00	4,962.00	\$4,750,000.00	CONDOMINIUM
74434	KRUZIC DAVID	480 HIBISCUS ST 203	140,000.00	3,349.00	\$172,900.00	CONDOMINIUM
74434	BORGIN & BURQUE LLC	480 HIBISCUS ST 205	140,000.00	3,349.00	\$168,000.00	CONDOMINIUM
74434	CHANG ZHI	480 HIBISCUS ST 207	140,000.00	3,349.00	\$167,900.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 209	210,000.00	4,962.00	\$4,750,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 211	284,900.00	6,914.00	\$11,150,000.00	CONDOMINIUM
74434	DI NATALE TRUST	480 HIBISCUS ST 213	205,000.00	4,847.00	\$1.00	CONDOMINIUM
74434	CHANG ZHI	480 HIBISCUS ST 215	140,000.00	3,349.00	\$212,500.00	CONDOMINIUM
74434	PIMARSA REVOCABLE TRUST	480 HIBISCUS ST 217	145,000.00	3,464.00	\$1.00	CONDOMINIUM
74434	ENTRUST ADMINSTRN SERVICES INC	480 HIBISCUS ST 219	140,000.00	3,349.00	\$161,900.00	CONDOMINIUM
74434	TORTUL CLAUDIO	480 HIBISCUS ST 221	205,000.00	4,847.00	\$230,900.00	CONDOMINIUM
74434	CHOPRA RAVINDER &	480 HIBISCUS ST 223	284,900.00	6,914.00	\$301,000.00	CONDOMINIUM
74434	FRADIN DAVID &	480 HIBISCUS ST 225	225,000.00	5,308.00	\$245,000.00	CONDOMINIUM
74434	DREAM REAL ESTATE HOLDINGS LLC	480 HIBISCUS ST 227	200,000.00	4,731.00	\$250,550.00	CONDOMINIUM
74434	ENTRUST ADMINSTRN SERVICES INC	480 HIBISCUS ST 229	130,000.00	3,118.00	\$154,000.00	CONDOMINIUM
74434	CASTRO BROTHERS INVESTMENTS LC	480 HIBISCUS ST 231	130,000.00	3,118.00	\$299,000.00	CONDOMINIUM
74434	HARMON MAUREEN O	480 HIBISCUS ST 233	130,000.00	3,118.00	\$200,000.00	CONDOMINIUM
74434	BEJENARU DANIEL &	* * CONFIDENTIAL RECORD			\$245,000.00	CONDOMINIUM
74434	DREAM REAL ESTATE HOLDINGS LLC	480 HIBISCUS ST 236	200,000.00	4,731.00	\$254,500.00	CONDOMINIUM
74434	DHANDA ANAND &	480 HIBISCUS ST 237	182,090.00	3,354.00	\$250,000.00	CONDOMINIUM
74434	CUTIS RESEARCH CORP	480 HIBISCUS ST 238	200,000.00	4,731.00	\$228,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 239	200,000.00	4,731.00	\$4,750,000.00	CONDOMINIUM
74434	FORMAN KIM	480 HIBISCUS ST 240	145,000.00	2,499.00	\$169,000.00	CONDOMINIUM
74434	BORTE DANIEL P	480 HIBISCUS ST 241	145,000.00	2,499.00	\$159,000.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 242	244,797.00	5,991.00	\$2,900,000.00	CONDOMINIUM
74434	BERKOWITZ MAUREEN	480 HIBISCUS ST 243	252,000.00	4,965.00	\$315,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 301	215,000.00	5,077.00	\$4,750,000.00	CONDOMINIUM
74434	STUBBERUD HEIDI	480 HIBISCUS ST 303	145,000.00	3,464.00	\$185,000.00	CONDOMINIUM
74434	ADOLPHSON TONJE	480 HIBISCUS ST 305	145,000.00	3,464.00	\$183,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 307	145,000.00	3,464.00	\$4,750,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 309	215,000.00	5,077.00	\$4,750,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 311	290,400.00	7,037.00	\$4,750,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 313	210,000.00	4,962.00	\$4,750,000.00	CONDOMINIUM

74434	BELL WILLIAM R	480 HIBISCUS ST 315	145,000.00	3,464.00	\$160,489.00	CONDOMINIUM
74434	DALE LLC	480 HIBISCUS ST 317	150,000.00	3,579.00	\$332,900.00	CONDOMINIUM
74434	HB CITYPALMS LLC	480 HIBISCUS ST 319	145,000.00	3,464.00	\$10.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 321	210,000.00	4,962.00	\$4,750,000.00	CONDOMINIUM
74434	PAIGE CATHY ANN &	480 HIBISCUS ST 323	290,400.00	7,037.00	\$317,000.00	CONDOMINIUM
74434	BENNETT TEGAN	480 HIBISCUS ST 325	197,157.00	3,701.00	\$242,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 327	205,000.00	4,847.00	\$4,750,000.00	CONDOMINIUM
74434	BEST PRINT LLC	480 HIBISCUS ST 329	135,000.00	3,233.00	\$185,000.00	CONDOMINIUM
74434	CHANG ZHI	480 HIBISCUS ST 331	135,000.00	3,233.00	\$200,000.00	CONDOMINIUM
74434	CHANG ZHI	480 HIBISCUS ST 333	135,000.00	3,233.00	\$166,900.00	CONDOMINIUM
74434	TROZZO RALPH &	480 HIBISCUS ST 335	130,000.00	3,118.00	\$145,000.00	CONDOMINIUM
74434	DREAM REAL ESTATE HOLDINGS LLC	480 HIBISCUS ST 336	205,000.00	4,847.00	\$250,550.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 337	205,000.00	4,847.00	\$11,150,000.00	CONDOMINIUM
74434	SOMMA JOSEPH &	480 HIBISCUS ST 338	205,000.00	4,847.00	\$10.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 339	205,000.00	4,847.00	\$4,750,000.00	CONDOMINIUM
74434	DI NATALE TRUST	480 HIBISCUS ST 340	150,000.00	3,579.00	\$1.00	CONDOMINIUM
74434	VECTOR LLC	480 HIBISCUS ST 341	150,000.00	3,579.00	\$178,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 342	280,000.00	6,575.00	\$4,750,000.00	CONDOMINIUM
74434	SAVASTA NANCY &	480 HIBISCUS ST 343	280,000.00	6,575.00	\$298,750.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 401	220,000.00	5,192.00	\$4,750,000.00	CONDOMINIUM
74434	ZIRCHER ANDREW	480 HIBISCUS ST 403	148,000.00	3,569.00	\$164,893.00	CONDOMINIUM
74434	VIVANCO RICARDO &	480 HIBISCUS ST 405	150,000.00	3,579.00	\$223,500.00	CONDOMINIUM
74434	TREADWAY PETER T TRUST &	480 HIBISCUS ST 407	150,000.00	3,579.00	\$10.00	CONDOMINIUM
74434	PEACOCK DAVID M	480 HIBISCUS ST 409	220,000.00	5,192.00	\$10.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 411	295,900.00	7,160.00	\$4,750,000.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 413	215,000.00	5,077.00	\$2,900,000.00	CONDOMINIUM
74434	LAVAS PETER &	480 HIBISCUS ST 415	150,000.00	3,579.00	\$154,000.00	CONDOMINIUM
74434	DREAM REAL ESTATE HOLDINGS LLC	480 HIBISCUS ST 417	155,000.00	3,694.00	\$192,900.00	CONDOMINIUM
74434	GARBER KIM B &	480 HIBISCUS ST 419	150,000.00	3,579.00	\$175,000.00	CONDOMINIUM
74434	SANTONOCITO RICHARD	480 HIBISCUS ST 421	215,000.00	5,077.00	\$219,900.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 423	295,900.00	7,160.00	\$4,750,000.00	CONDOMINIUM
74434	ASENCIO DIEGO &	480 HIBISCUS ST 425	235,000.00	4,573.00	\$288,900.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 427	210,000.00	4,962.00	\$4,750,000.00	CONDOMINIUM
74434	SIPALA MICHAEL III	480 HIBISCUS ST 429	140,000.00	3,349.00	\$10.00	CONDOMINIUM

74434	STONE CHERYLE M 1994 DECL TRUST	480 HIBISCUS ST 431	140,000.00	3,349.00	\$10.00	CONDOMINIUM
74434	TORTUL CLAUDIO	480 HIBISCUS ST 433	140,000.00	3,349.00	\$173,000.00	CONDOMINIUM
74434	SEIJON ENTERPRISES LLC	480 HIBISCUS ST 435	135,000.00	3,233.00	\$180,000.00	CONDOMINIUM
74434	FRANCESCHI ANDREA	480 HIBISCUS ST 436	210,000.00	4,962.00	\$279,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 437	210,000.00	4,962.00	\$4,750,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 438	210,000.00	4,962.00	\$11,150,000.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 439	210,000.00	4,962.00	\$2,900,000.00	CONDOMINIUM
74434	COLLINS JOAN	480 HIBISCUS ST 440	155,000.00	3,694.00	\$154,500.00	CONDOMINIUM
74434	MACEACHERN RONALD J &	480 HIBISCUS ST 441	155,000.00	3,694.00	\$182,300.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 442	285,000.00	6,690.00	\$11,150,000.00	CONDOMINIUM
74434	MARTEL LOUIS &	480 HIBISCUS ST 443	285,000.00	6,690.00	\$335,000.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 501	225,000.00	5,308.00	\$2,900,000.00	CONDOMINIUM
74434	DREAM REAL ESTATE HOLDINGS LLC	480 HIBISCUS ST 503	155,000.00	3,694.00	\$220,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 505	155,000.00	3,694.00	\$4,750,000.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 507	155,000.00	3,694.00	\$2,900,000.00	CONDOMINIUM
74434	MCDONALD GRANT &	480 HIBISCUS ST 509	225,000.00	5,308.00	\$260,900.00	CONDOMINIUM
74434	BUNKER HOLDINGS INC	480 HIBISCUS ST 511	301,400.00	7,283.00	\$350,000.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 513	220,000.00	5,192.00	\$2,900,000.00	CONDOMINIUM
74434	BARONE NICOLE	480 HIBISCUS ST 515	131,823.00	2,196.00	\$159,000.00	CONDOMINIUM
74434	TURNBERRY VILLAGE 1010 LLC	480 HIBISCUS ST 517	160,000.00	3,809.00	\$342,900.00	CONDOMINIUM
74434	SHAW BRIAN A &	480 HIBISCUS ST 519	155,000.00	3,694.00	\$225,000.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 521	220,000.00	5,192.00	\$2,900,000.00	CONDOMINIUM
74434	DURGHAM NASSER &	480 HIBISCUS ST 523	301,400.00	7,283.00	\$300,000.00	CONDOMINIUM
74434	MANZANA US INVEST LLC	480 HIBISCUS ST 525	240,000.00	5,653.00	\$277,500.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 527	215,000.00	5,077.00	\$2,900,000.00	CONDOMINIUM
74434	AASRAND ROGER	480 HIBISCUS ST 529	145,000.00	3,464.00	\$191,900.00	CONDOMINIUM
74434	BERKOWITZ MAUREEN	480 HIBISCUS ST 531	145,000.00	3,464.00	\$43,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 533	145,000.00	3,464.00	\$11,150,000.00	CONDOMINIUM
74434	AASRAND ROGER	480 HIBISCUS ST 535	140,000.00	3,349.00	\$179,000.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 536	215,000.00	5,077.00	\$2,900,000.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 537	215,000.00	5,077.00	\$2,900,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 538	215,000.00	5,077.00	\$11,150,000.00	CONDOMINIUM
74434	WHELAN SINEAD	480 HIBISCUS ST 539	215,000.00	5,077.00	\$450,900.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 540	160,000.00	3,809.00	\$4,750,000.00	CONDOMINIUM

74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 541	160,000.00	3,809.00	\$4,750,000.00	CONDOMINIUM
74434	542 CITY PALMS CORP	480 HIBISCUS ST 542	290,000.00	6,806.00	\$404,368.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 543	290,000.00	6,806.00	\$15,200,000.00	CONDOMINIUM
74434	480 HIBISCUS STREET REALTY TRUST	480 HIBISCUS ST 601	230,000.00	5,423.00	\$276,000.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 602	190,000.00	4,501.00	\$2,900,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 603	160,000.00	3,809.00	\$11,150,000.00	CONDOMINIUM
74434	FLAHERTY RALPH T &	480 HIBISCUS ST 604	223,710.00	4,313.00	\$255,000.00	CONDOMINIUM
74434	TORREMOLINOS PROPERTIES CORP	480 HIBISCUS ST 605	160,000.00	3,809.00	\$379,900.00	CONDOMINIUM
74434	ISOTALO ILKKA &	480 HIBISCUS ST 606	328,900.00	7,710.00	\$387,000.00	CONDOMINIUM
74434	FILETTI JEAN	480 HIBISCUS ST 607	160,000.00	3,809.00	\$155,000.00	CONDOMINIUM
74434	MCNAMARA SEAN	480 HIBISCUS ST 609	230,000.00	5,423.00	\$442,605.00	CONDOMINIUM
74434	PIANEZZA DAVID &	480 HIBISCUS ST 611	306,900.00	7,406.00	\$556,605.00	CONDOMINIUM
74434	ROSENFELD DAVID L &	480 HIBISCUS ST 612	328,900.00	7,710.00	\$386,900.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 613	225,000.00	5,308.00	\$2,900,000.00	CONDOMINIUM
74434	THEILE PETER G &	480 HIBISCUS ST 614	170,000.00	4,040.00	\$188,000.00	CONDOMINIUM
74434	ASEINCO LLC	480 HIBISCUS ST 615	160,000.00	3,809.00	\$325,900.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 617	165,000.00	3,925.00	\$4,750,000.00	CONDOMINIUM
74434	MK PROP HLDNGS LLC	480 HIBISCUS ST 618	170,000.00	4,040.00	\$19,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 619	160,000.00	3,809.00	\$11,150,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 620	328,900.00	7,710.00	\$4,750,000.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 621	225,000.00	5,308.00	\$2,900,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 623	306,900.00	7,406.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 625	245,000.00	5,768.00	\$15,200,000.00	CONDOMINIUM
74434	GOLDLUST JERRY	480 HIBISCUS ST 626	285,500.00	7,036.00	\$529,900.00	CONDOMINIUM
74434	WHELAN SIOBHAN	480 HIBISCUS ST 627	220,000.00	5,192.00	\$450,900.00	CONDOMINIUM
74434	KROMALIC TRACY L	480 HIBISCUS ST 628	245,000.00	5,768.00	\$342,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 629	150,000.00	3,579.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 630	245,000.00	5,768.00	\$11,150,000.00	CONDOMINIUM
74434	REUTHAMMAR ANDERS	480 HIBISCUS ST 631	150,000.00	3,579.00	\$171,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 633	150,000.00	3,579.00	\$11,150,000.00	CONDOMINIUM
74434	CNIC LLC	480 HIBISCUS ST 635	145,000.00	3,464.00	\$178,500.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 636	220,000.00	5,192.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 637	220,000.00	5,192.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 638	220,000.00	5,192.00	\$15,200,000.00	CONDOMINIUM

74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 639	220,000.00	5,192.00	\$15,200,000.00	CONDOMINIUM
74434	SARNO ANIELLO J &	480 HIBISCUS ST 640	165,000.00	3,925.00	\$199,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 641	165,000.00	3,925.00	\$11,150,000.00	CONDOMINIUM
74434	GILMOUR DAVID H TRUST	480 HIBISCUS ST 642	295,000.00	6,921.00	\$380,900.00	CONDOMINIUM
74434	MELROSE CAMERFORD PARTNERS LLC	480 HIBISCUS ST 643	295,000.00	6,921.00	\$4,750,000.00	CONDOMINIUM
74434	PEREIRA JENNIFER	480 HIBISCUS ST 701	235,000.00	5,538.00	\$427,500.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 702	275,000.00	6,460.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 703	165,000.00	3,925.00	\$15,200,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 704	250,000.00	5,884.00	\$11,150,000.00	CONDOMINIUM
74434	WORMAN GABRIELLE S	480 HIBISCUS ST 705	165,000.00	3,925.00	\$220,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 706	334,400.00	7,833.00	\$11,150,000.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 707	165,000.00	3,925.00	\$2,900,000.00	CONDOMINIUM
74434	FERNANDEZ ERNESTO &	480 HIBISCUS ST 709	235,000.00	5,538.00	\$472,900.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 711	312,400.00	7,529.00	\$15,200,000.00	CONDOMINIUM
74434	ROWE MICHAEL &	480 HIBISCUS ST 712	334,400.00	7,833.00	\$426,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 713	230,000.00	5,423.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 714	180,000.00	4,270.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 715	165,000.00	3,925.00	\$15,200,000.00	CONDOMINIUM
74434	GRAHAM MARK C &	480 HIBISCUS ST 716	185,000.00	4,386.00	\$292,720.00	CONDOMINIUM
74434	1402 ALTA VISTA PARTNERS LLC	480 HIBISCUS ST 717	170,000.00	4,040.00	\$2,900,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 718	180,000.00	4,270.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 719	165,000.00	3,925.00	\$15,200,000.00	CONDOMINIUM
74434	CF GROUP LLC	480 HIBISCUS ST 720	300,141.00	7,301.00	\$530,900.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 721	230,000.00	5,423.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 723	312,400.00	7,529.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 725	250,000.00	5,884.00	\$15,200,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 726	334,400.00	7,833.00	\$11,150,000.00	CONDOMINIUM
74434	LEOPARDI FRANCESO &	480 HIBISCUS ST 727	225,000.00	5,308.00	\$475,900.00	CONDOMINIUM
74434	BARHOUSH ENTERPRISES LLC	480 HIBISCUS ST 728	250,000.00	5,884.00	\$10.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 729	155,000.00	3,694.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 730	250,000.00	5,884.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 731	155,000.00	3,694.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 733	155,000.00	3,694.00	\$15,200,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 735	150,000.00	3,579.00	\$11,150,000.00	CONDOMINIUM

74434	PICARELLO JOSEPH &	480 HIBISCUS ST 736	225,000.00	5,308.00	\$225,600.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 737	225,000.00	5,308.00	\$15,200,000.00	CONDOMINIUM
74434	JOHNSON MELVYN R &	480 HIBISCUS ST 738	225,000.00	5,308.00	\$254,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 739	225,000.00	5,308.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 740	170,000.00	4,040.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 741	170,000.00	4,040.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 742	300,000.00	7,036.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 743	300,000.00	7,036.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 801	240,000.00	5,653.00	\$10.00	CONDOMINIUM
74434	DARMORY MARSHA S TRUST &	480 HIBISCUS ST 802	280,000.00	5,611.00	\$10.00	CONDOMINIUM
74434	RACANATI VICTORIA	480 HIBISCUS ST 803	156,077.00	2,755.00	\$200,000.00	CONDOMINIUM
74434	OCM WEST PALM BEACH LLC	480 HIBISCUS ST 804	255,000.00	5,999.00	\$280,000.00	CONDOMINIUM
74434	HUNTHAUSEN WAYNE &	480 HIBISCUS ST 805	170,000.00	4,040.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 806	339,900.00	7,956.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 807	170,000.00	4,040.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 809	240,000.00	5,653.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 811	317,900.00	7,652.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 812	314,782.00	7,566.00	\$493,037.00	CONDOMINIUM
74434	PAPPALARDO JOSEPH &	480 HIBISCUS ST 813	235,000.00	5,416.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 814	185,000.00	4,386.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 815	170,000.00	4,040.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 816	190,000.00	4,501.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 817	175,000.00	4,155.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 818	185,000.00	4,386.00	\$247,900.00	CONDOMINIUM
74434	DORICI LLC	480 HIBISCUS ST 819	170,000.00	4,040.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 820	339,900.00	7,956.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 821	235,000.00	5,538.00	\$306,900.00	CONDOMINIUM
74434	MELVILLE RICHARD B &	480 HIBISCUS ST 823	317,900.00	7,652.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 825	255,000.00	5,999.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 826	340,000.00	7,956.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 827	230,000.00	5,423.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 828	206,683.00	3,921.00	\$447,355.00	CONDOMINIUM
74434	JACKNIS LOIS	480 HIBISCUS ST 829	160,000.00	3,809.00	\$155,000.00	CONDOMINIUM
74434	GERBER DAVID	480 HIBISCUS ST 830	255,000.00	5,999.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP					

74434	CHANG ZHI	480 HIBISCUS ST 831	160,000.00	3,809.00	\$220,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 833	160,000.00	3,809.00	\$15,200,000.00	CONDOMINIUM
74434	PAKIKKA TUOMAS	480 HIBISCUS ST 835	155,000.00	3,694.00	\$155,000.00	CONDOMINIUM
74434	STOCKSTILL JOEL	480 HIBISCUS ST 836	230,000.00	5,423.00	\$232,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 837	230,000.00	5,423.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 838	230,000.00	5,423.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 839	230,000.00	5,423.00	\$349,360.00	CONDOMINIUM
74434	PLUNKETT SIOBHAN P	480 HIBISCUS ST 840	175,000.00	4,155.00	\$168,000.00	CONDOMINIUM
74434	FRISCHKNECHT FAMILY TRUST	480 HIBISCUS ST 841	175,000.00	4,155.00	\$361,855.00	CONDOMINIUM
74434	SCISLOWSKI DAVID &	480 HIBISCUS ST 842	305,000.00	7,151.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 843	305,000.00	7,151.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 901	245,000.00	5,768.00	\$243,000.00	CONDOMINIUM
74434	ANDERSSON HANS &	480 HIBISCUS ST 902	285,000.00	6,690.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 903	175,000.00	4,155.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 904	260,000.00	6,114.00	\$293,000.00	CONDOMINIUM
74434	DIRE VINCENT &	480 HIBISCUS ST 905	175,000.00	4,155.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 906	345,000.00	8,073.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 907	175,000.00	4,155.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 909	245,000.00	5,768.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 911	350,000.00	7,775.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 912	345,000.00	8,073.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 913	240,000.00	5,653.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 914	190,000.00	4,501.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 915	175,000.00	4,033.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 916	195,000.00	4,616.00	\$230,000.00	CONDOMINIUM
74434	LILA MINT LLC	480 HIBISCUS ST 917	180,000.00	4,270.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 918	175,000.00	4,033.00	\$200,000.00	CONDOMINIUM
74434	PAKSIMA ALI D	480 HIBISCUS ST 919	175,000.00	4,033.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 920	345,000.00	8,073.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 921	240,000.00	5,653.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 923	323,400.00	7,775.00	\$0.00	CONDOMINIUM
74434	CAMPERS CAPITAL LLC	480 HIBISCUS ST 925	260,000.00	6,114.00	\$456,855.00	CONDOMINIUM
74434	WHYTE JOHN	480 HIBISCUS ST 926	345,000.00	8,073.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 927	235,000.00	5,538.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP					

74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 928	260,000.00	6,114.00	\$15,200,000.00	CONDOMINIUM
74434	LARAR GERALD &	480 HIBISCUS ST 929	165,000.00	3,925.00	\$142,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 930	260,000.00	6,114.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 931	165,000.00	3,925.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 933	165,000.00	3,925.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 935	160,000.00	3,809.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 936	235,000.00	5,538.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 937	235,000.00	5,538.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 938	235,000.00	5,538.00	\$419,617.00	CONDOMINIUM
74434	MCKENZIE JAMES A &	480 HIBISCUS ST 939	235,000.00	5,538.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 940	180,000.00	4,270.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 941	180,000.00	4,270.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 942	310,000.00	7,266.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 943	310,000.00	7,266.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 1001	250,000.00	5,884.00	\$248,000.00	CONDOMINIUM
74434	BARNES ROBERT &	480 HIBISCUS ST 1002	290,000.00	6,806.00	\$505,900.00	CONDOMINIUM
74434	SCHERER LINDA B TRUST	480 HIBISCUS ST 1003	150,042.00	2,469.00	\$10.00	CONDOMINIUM
74434	FRANGOULIDIS DIANA	480 HIBISCUS ST 1004	265,000.00	6,229.00	\$280,000.00	CONDOMINIUM
74434	SOHN AHJEAN &	480 HIBISCUS ST 1005	180,000.00	4,270.00	\$10.00	CONDOMINIUM
74434	FRISCHKNECHT ANDREAS A TR	480 HIBISCUS ST 1006	350,000.00	8,188.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 1007	180,000.00	4,270.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 1009	250,000.00	5,884.00	\$475,855.00	CONDOMINIUM
74434	DUNNE BRIAN	480 HIBISCUS ST 1011	355,000.00	8,182.00	\$420,000.00	CONDOMINIUM
74434	LANDMESSER ROBERT	480 HIBISCUS ST 1012	350,000.00	8,188.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 1013	245,000.00	5,768.00	\$210,000.00	CONDOMINIUM
74434	POLAK JUNE &	480 HIBISCUS ST 1014	195,000.00	4,616.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 1015	180,000.00	4,270.00	\$310,000.00	CONDOMINIUM
74434	RUBIN SHEILA	480 HIBISCUS ST 1016	200,000.00	4,731.00	\$255,000.00	CONDOMINIUM
74434	LEINWAND CHARLES M &	480 HIBISCUS ST 1017	185,000.00	4,386.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 1018	195,000.00	4,616.00	\$10.00	CONDOMINIUM
74434	SCHAR CONDO LLC	480 HIBISCUS ST 1019	180,000.00	4,270.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 1020	350,000.00	8,188.00	\$415,000.00	CONDOMINIUM
74434	ROSENFELD SUSAN M TRUST &	480 HIBISCUS ST 1021	245,000.00	5,768.00	\$461,605.00	CONDOMINIUM
74434	FLYNN CATRIONA	480 HIBISCUS ST 1023	328,900.00	7,898.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC					

74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 1025	265,000.00	6,229.00	\$11,150,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST 1026	350,000.00	8,188.00	\$11,150,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 1027	240,000.00	5,653.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 1028	265,000.00	6,229.00	\$15,200,000.00	CONDOMINIUM
74434	MINEA ELENA	480 HIBISCUS ST 1029	170,000.00	4,040.00	\$335,700.00	CONDOMINIUM
74434	MITCHELL JOHN J &	480 HIBISCUS ST 1030	265,000.00	6,229.00	\$505,900.00	CONDOMINIUM
74434	B & O GROUP LLC	480 HIBISCUS ST 1031	170,000.00	4,040.00	\$256,380.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 1033	170,000.00	4,040.00	\$15,200,000.00	CONDOMINIUM
74434	GERESTEIN BERNARD &	480 HIBISCUS ST 1035	165,000.00	3,925.00	\$164,900.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 1036	240,000.00	5,653.00	\$15,200,000.00	CONDOMINIUM
74434	MC GEE WILLIAM	480 HIBISCUS ST 1037	240,000.00	5,653.00	\$471,105.00	CONDOMINIUM
74434	DELANO JENICE	480 HIBISCUS ST 1038	240,000.00	5,653.00	\$317,645.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 1039	240,000.00	5,653.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 1040	185,000.00	4,386.00	\$15,200,000.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 1041	185,000.00	4,386.00	\$15,200,000.00	CONDOMINIUM
74434	PERLOWITZ FAMILY TRUST	480 HIBISCUS ST 1042	315,000.00	7,382.00	\$1.00	CONDOMINIUM
74434	CULVER VISTA PARTNERS LP	480 HIBISCUS ST 1043	315,000.00	7,382.00	\$15,200,000.00	CONDOMINIUM
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-1	191,823.00	4,494.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-2	156,896.00	3,675.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-3	99,714.00	2,585.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-4	108,030.00	2,531.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-5	113,495.00	2,659.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-6	121,652.00	2,850.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-7	120,702.00	2,828.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-8	116,346.00	2,725.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-9	105,099.00	2,462.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-10	141,769.00	3,267.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-11	136,700.00	3,202.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-12	100,743.00	2,360.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-14	109,297.00	2,560.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-15	188,101.00	4,406.00	\$11,150,000.00	STORE/OFF/RES
74434	HOSPITALITY OF PALM BEACH LLC	480 HIBISCUS ST CU-16	271,657.00	6,364.00	\$11,150,000.00	STORE/OFF/RES
TOTAL:			61,276,626.00	1,437,433.00		
AVERAGE:			215,005.71	5,043.62		

used for Parcel #2 comparative analysis
(60,000 sf) Commercial space @ ~ \$170 / s. f. assessed

PARCEL # 3

Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Homestead Exemption **E-file**



Location Address 131 FEDERAL HWY

Municipality LAKE PARK

Parcel Control Number 36-43-42-20-01-114-0130

Subdivision KELSEY CITY IN PB 8 PGS 15 TO 18, 23, 27 & 34 TO 37 INC

Official Records Book 19940

Page 211

Sale Date FEB-2006

Legal Description KELSEY CITY LTS 13 TO 15 INC /LESS CO RD R/W/ & W 70 FT OF LTS 32 TO 34 INC BLK 114

Mailing address

211 US HIGHWAY ONE

LAKE PARK FL 33403 3551

Owners

LEASING OF SOUTH FLORIDA INC

Sales Date	Price	OR Book/Page	Sale Type	Owner
FEB-2006	\$500,000	19940 / 0211	WARRANTY DEED	LEASING OF SOUTH FLORIDA INC
MAR-2003	\$210,000	14886 / 0148	WARRANTY DEED	NUGENT MATTHEW S &
NOV-1996	\$100	10524 / 1988	WARRANTY DEED	HOLLAND MARGARET E TR
FEB-1994	\$100	08400 / 1494	WARRANTY DEED	
DEC-1991	\$160,000	07041 / 1449	WARRANTY DEED	

1 2

No Exemption Information Available.

Number of Units 0 ***Total Square Feet** 2034 **Acres** 0.2686
Use Code 1900 - PROF OFFICES **Zoning** C1 - Business (36-LAKE PARK)

Tax Year	2015	2014	2013
Improvement Value	\$176,589	\$162,842	\$157,154
Land Value	\$110,565	\$110,565	\$105,300
Total Market Value	\$287,154	\$273,407	\$262,454

All values are as of January 1st each year

Tax Year	2015	2014	2013
Assessed Value	\$287,154	\$273,407	\$262,454
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$287,154	\$273,407	\$262,454

Tax Year	2015	2014	2013
Ad Valorem	\$7,145	\$6,893	\$6,652
Non Ad Valorem	\$694	\$724	\$702
Total tax	\$7,839	\$7,617	\$7,354



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Homestead Exemption



Location Address 133 FEDERAL HWY

Municipality LAKE PARK

Parcel Control Number 36-43-42-20-01-114-0352

Subdivision KELSEY CITY IN PB 8 PGS 15 TO 18, 23, 27 & 34 TO 37 INC

Official Records Book 22268

Page 587

Sale Date NOV-2007

Legal Description KELSEY CITY ELY 66.70 FT OF WLY 76.70 FT OF LTS 35 TO 38 BLK 114

Mailing address
 211 US HIGHWAY 1
 LAKE PARK FL 33403 3551
Owners

LEASING OF SOUTH FLORIDA INC

Sales Date	Price	OR Book/Page	Sale Type	Owner
NOV-2007	\$800,000	22268 / 0587	WARRANTY DEED	LEASING OF SOUTH FLORIDA INC
APR-2002	\$175,000	13667 / 0655	WARRANTY DEED	CR WOLF INC
AUG-2001	\$10	12865 / 1859	QUIT CLAIM	BILLS LOUIS B JR
JUN-1993	\$100	07776 / 0625	WARRANTY DEED	
MAY-1993	\$100	07700 / 1851	WARRANTY DEED	

1 2

No Exemption Information Available.

Number of Units 0 *Total Square Feet 713 Acres 0.1531
 Use Code 1100 - STORES Zoning C1 - Business (36-LAKE PARK)

Tax Year	2015	2014	2013
Improvement Value	\$25,590	\$23,550	\$22,330
Land Value	\$70,035	\$70,035	\$66,700
Total Market Value	\$95,625	\$93,585	\$89,030

All values are as of January 1st each year

Tax Year	2015	2014	2013
Assessed Value	\$95,625	\$93,585	\$86,967
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$95,625	\$93,585	\$86,967

Tax Year	2015	2014	2013
Ad Valorem	\$2,379	\$2,359	\$2,220
Non Ad Valorem	\$267	\$278	\$270
Total tax	\$2,646	\$2,637	\$2,490



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Homestead Exemption



Location Address 139 FEDERAL HWY 1
 Municipality LAKE PARK
 Parcel Control Number 36-43-42-20-01-114-0090
 Subdivision KELSEY CITY IN PB 8 PGS 15 TO 18, 23, 27 & 34 TO 37 INC
 Official Records Book 22268 Page 587
 Sale Date NOV-2007
 Legal Description KELSEY CITY LTS 9 TO 12 (LESS US HWY # 1 R/W) & WLY 10 FT OF LTS 35 TO 38 BLK 114

Mailing address

211 US HIGHWAY 1
 LAKE PARK FL 33403 3551

Owners

LEASING OF SOUTH FLORIDA INC

Sales Date	Price	OR Book/Page	Sale Type	Owner
NOV-2007	\$800,000	22268 / 0587	WARRANTY DEED	LEASING OF SOUTH FLORIDA INC
APR-2002	\$175,000	13667 / 0655	WARRANTY DEED	CR WOLF INC
AUG-2001	\$10	12865 / 1859	QUIT CLAIM	BILLS LOUIS B JR
JUN-1993	\$100	07776 / 0625	WARRANTY DEED	
MAY-1993	\$100	07700 / 1851	WARRANTY DEED	

12

No Exemption Information Available.

Number of Units 0 *Total Square Feet 1760 Acres 0.2050
 Use Code 1100 - STORES Zoning C1 - Business (36-LAKE PARK)

Tax Year	2015	2014	2013
Improvement Value	\$114,493	\$105,653	\$99,583
Land Value	\$93,765	\$93,765	\$89,300
Total Market Value	\$208,258	\$199,418	\$188,883

All values are as of January 1st each year

Tax Year	2015	2014	2013
Assessed Value	\$208,258	\$199,418	\$188,883
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$208,258	\$199,418	\$188,883

Tax Year	2015	2014	2013
Ad Valorem	\$5,182	\$5,027	\$4,787
Non Ad Valorem	\$573	\$599	\$580
Total tax	\$5,755	\$5,626	\$5,367



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Homestead Exemption **E-file**



Location Address 211 FEDERAL HWY

Municipality LAKE PARK

Parcel Control Number 36-43-42-20-01-114-0010

Subdivision KELSEY CITY IN PB 8 PGS 15 TO 18, 23, 27 & 34 TO 37 INC

Official Records Book 20119

Page 1706

Sale Date MAR-2006

Legal Description KELSEY CITY LTS 1 TO 8 INC /LESS W 20 FT RD R/W/ & W 108 FT OF LTS 39 TO 46 INC BLK 114

Mailing address

211 US HWY ONE

LAKE PARK FL 33403 3551

Owners

LEASING OF SOUTH FLORIDA INC

Sales Date	Price	OR Book/Page	Sale Type	Owner
MAR-2006	\$2,300,000	20119 / 1706	WARRANTY DEED	LEASING OF SOUTH FLORIDA INC
OCT-2001	\$360,000	12977 / 1260	WARRANTY DEED	CMBB INC
FEB-2000	\$101,000	11606 / 0209	CERT OF TITLE	CONWAY DONALD F TR
DEC-1990	\$475,000	06686 / 1343	WARRANTY DEED	
MAR-1990	\$327,100	06395 / 1443	CERT OF TITLE	

12

No Exemption Information Available.

Number of Units	0	*Total Square Feet	6098	Acres	0.7346
Use Code	1100 - STORES	Zoning	C1 - Business (36-LAKE PARK)		
Tax Year	2015	2014	2013		
Improvement Value	\$368,074	\$339,991	\$320,227		
Land Value	\$268,800	\$268,800	\$256,000		
Total Market Value	\$636,874	\$608,791	\$576,227		

All values are as of January 1st each year

Tax Year	2015	2014	2013
Assessed Value	\$636,874	\$608,791	\$576,227
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$636,874	\$608,791	\$576,227
Tax Year	2015	2014	2013
Ad Valorem	\$15,847	\$15,348	\$14,604
Non Ad Valorem	\$1,878	\$1,958	\$1,899
Total tax	\$17,725	\$17,306	\$16,503



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Homestead Exemption



Location Address 126 LAKE SHORE DR
 Municipality LAKE PARK
 Parcel Control Number 36-43-42-20-01-114-0321
 Subdivision KELSEY CITY IN PB 8 PGS 15 TO 18, 23, 27 & 34 TO 37 INC
 Official Records Book 07660 Page 1580
 Sale Date APR-1993
 Legal Description KELSEY CITY LTS 32, 33 & 34 (LESS W 70 FT) BLK 114

Mailing address

126 LAKE SHORE DR
 LAKE PARK FL 33403 3532

Owners

DYER MARY V

Sales Date	Price	OR Book/Page	Sale Type	Owner
APR-1993	\$105,000	07660 / 1580	WARRANTY DEED	

Exemption Applicant/Owner	Year	Detail
DYER MARY V	2016	

Number of Units 1 *Total Square Feet 1622 Acres 0.36
 Use Code 0100 - SINGLE FAMILY Zoning R2A - Multiple Family Residential (36-LAKE PARK)

Tax Year	2015	2014	2013
Improvement Value	\$64,057	\$62,518	\$50,392
Land Value	\$54,149	\$45,124	\$45,124
Total Market Value	\$118,206	\$107,642	\$95,516

All values are as of January 1st each year

Tax Year	2015	2014	2013
Assessed Value	\$97,725	\$96,949	\$95,516
Exemption Amount	\$50,000	\$50,000	\$50,000
Taxable Value	\$47,725	\$46,949	\$45,516

Tax Year	2015	2014	2013
Ad Valorem	\$1,375	\$1,373	\$1,343
Non Ad Valorem	\$463	\$468	\$419
Total tax	\$1,838	\$1,841	\$1,762



Gary R. Nikolits, CFA
Property Appraiser
 Palm Beach County

Homestead Exemption **E-file**



Location Address 138 LAKE SHORE DR
Municipality LAKE PARK
Parcel Control Number 36-43-42-20-01-114-0351
Subdivision KELSEY CITY IN PB 8 PGS 15 TO 18, 23, 27 & 34 TO 37 INC
Official Records Book 22337 **Page** 794
Sale Date DEC-2007
Legal Description KELSEY CITY E 210 FT OF LOTS 35 TO 38 INC BLK 114

Owners
 LEASING OF SOUTH FLORIDA INC

Mailing address
 211 US HIGHWAY 1
 LAKE PARK FL 33403 3551

Sales Date	Price	OR Book/Page	Sale Type	Owner
DEC-2007	\$1,350,000	22337 / 0794	WARRANTY DEED	LEASING OF SOUTH FLORIDA INC
SEP-2006	\$10	20930 / 0975	QUIT CLAIM	PEFLEY GREGORY A &
MAR-1995	\$107,300	08673 / 1589	WARRANTY DEED	
OCT-1994	\$145,500	08468 / 1484	CERT OF TITLE	
MAR-1991	\$100	06765 / 1028	WARRANTY DEED	

1 2

No Exemption Information Available.

Number of Units 1 ***Total Square Feet** 3580 **Acres** 0.4673
Use Code 0101 - SINGLE FAMILY-COMM ZONING **Zoning** R2A - Multiple Family Residential (36-LAKE PARK)

Tax Year	2015	2014	2013
Improvement Value	\$165,120	\$144,147	\$119,285
Land Value	\$280,275	\$280,275	\$280,275
Total Market Value	\$445,395	\$424,422	\$399,560

All values are as of January 1st each year

Tax Year	2015	2014	2013
Assessed Value	\$445,395	\$424,422	\$399,560
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$445,395	\$424,422	\$399,560

Tax Year	2015	2014	2013
Ad Valorem	\$11,083	\$10,700	\$10,127
Non Ad Valorem	\$463	\$468	\$419
Total tax	\$11,546	\$11,168	\$10,546

255 Evernia - West Palm Beach

PARID	OWNER_NAME	SITE_ADDRESS	assessed value	taxes 2015	SALE_PRICE	PROPERTY_USE
74434	STRANG MU1 LLC	211 S NARCISUS AVE MU-1	\$168,512.00	\$4,096.00	\$478,689.00	STORE/OFF/RES CONDO
74434	STRAND MU2 LLC	211 S NARCISUS AVE MU-2	217,819	5,295	\$618,838.00	STORE/OFF/RES CONDO
74434	SOUTH BROCKTON	211 S NARCISUS AVE 3	161,877	3,935	\$9,171,300.00	STORE/OFF/RES CONDO
74434	SCIANNIO INTERNATIONAL	EVERNIA ST MU-4	\$0.00	\$0.00	\$925,000.00	STORE/OFF/RES CONDO
74434	TAGO INVESTMENTS LLC	277 EVERNIA ST	250,108	7,126	\$835,200.00	STORE/OFF/RES CONDO
74434	TAGO INVESTMENTS LLC	244 S OLIVE AVE	148,650	4,118	\$835,200.00	STORE/OFF/RES CONDO
74434	CAFE DES OLIVIERIS LLC	212 S OLIVE AVE	385,227	11,342	\$450,000.00	STORE/OFF/RES CONDO
74434	SOUTH BROCKTON	255 EVERNIA ST 101	140,000	3,489	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 102	140,000	3,489	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 103	\$140,000.00	\$3,367.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 104	\$140,000.00	\$3,367.00	\$9,171,300.00	CONDOMINIUM
74434	SAGER TAMARA	255 EVERNIA ST 201	\$118,000.00	\$2,960.00	\$10.00	CONDOMINIUM
74434	GERACI DAMIANO &	255 EVERNIA ST 202	\$102,300.00	\$2,587.00	\$111,000.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 203	\$135,000.00	\$3,368.00	\$9,171,300.00	CONDOMINIUM
74434	HERMAN WILLIAM &	255 EVERNIA ST 204	\$125,000.00	\$3,128.00	\$428,400.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 205	\$239,580.00	\$5,886.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 206	\$131,769.00	\$3,307.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 207	\$66,550.00	\$1,936.00	\$9,171,300.00	CONDOMINIUM
74434	ENGELS GULDEN DOROTHY	255 EVERNIA ST 301	\$123,000.00	\$3,080.00	\$382,900.00	CONDOMINIUM
74434	BEN AISSA WALID &	255 EVERNIA ST 302	\$93,836.00	\$2,466.00	\$10.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 303	\$137,500.00	\$3,428.00	\$9,171,300.00	CONDOMINIUM
74434	MITHUN HOWLADER LLC	255 EVERNIA ST 304	\$130,000.00	\$3,248.00	\$10.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 305	\$245,000.00	\$6,013.00	\$9,171,300.00	CONDOMINIUM
74434	LICKTEIG BLANE &	255 EVERNIA ST 306	\$104,500.00	\$2,639.00	\$74,725.00	CONDOMINIUM
74434	MARIA A SOLE IRREVOCBLE	255 EVERNIA ST 307	\$107,118.00	\$2,886.00	\$10.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 308	\$165,000.00	\$4,090.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 309	\$180,000.00	\$4,450.00	\$9,171,300.00	CONDOMINIUM
74434	STAHLI ELLEN	255 EVERNIA ST 310	\$188,100.00	\$4,659.00	\$465,000.00	CONDOMINIUM
74434	DE PERALTA EDGAR T	255 EVERNIA ST 311	\$182,600.00	\$4,531.00	\$175,000.00	CONDOMINIUM
74434	HEYMANN ROGER L &	255 EVERNIA ST 401	\$128,000.00	\$3,200.00	\$391,900.00	CONDOMINIUM
74434	LEGG BETTY L TRUST	255 EVERNIA ST 402	\$97,163.00	\$2,540.00	\$130,000.00	CONDOMINIUM
74434	ALVARADO ABEGAIL	255 EVERNIA ST 403	\$140,000.00	\$3,489.00	\$459,500.00	CONDOMINIUM
74434	SAAD NASHAAT R &	255 EVERNIA ST 404	\$132,500.00	\$3,308.00	\$182,000.00	CONDOMINIUM

74434	SOUTH BROCKTON	255 EVERNIA ST 405	\$250,000.00	\$6,134.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 406	\$101,156.00	\$2,734.00	\$9,171,300.00	CONDOMINIUM
74434	FALGIA JOHN A &	255 EVERNIA ST 407	\$178,000.00	\$4,402.00	\$475,000.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 408	\$185,000.00	\$4,571.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 409	\$175,000.00	\$4,330.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 410	\$185,000.00	\$4,571.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 411	\$185,000.00	\$4,571.00	\$9,171,300.00	CONDOMINIUM
74434	STRAND 501 LLC	255 EVERNIA ST 501	\$113,000.00	\$2,839.00	\$10,000	CONDOMINIUM
74434	MORICI MARY LYNN	255 EVERNIA ST 502	\$269,500.00	\$6,644.00	\$355,000.00	CONDOMINIUM
74434	KAY EDWARD	255 EVERNIA ST 503	\$132,500.00	\$2,294.00	\$165,000.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 504	\$259,545.00	\$6,479.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 505	\$104,484.00	\$2,807.00	\$9,171,300.00	CONDOMINIUM
74434	BORGENSEN BRETT &	255 EVERNIA ST 506	\$167,002.00	\$3,123.00	\$492,921.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 507	\$187,500.00	\$4,631.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 508	\$177,500.00	\$4,390.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 509	\$187,500.00	\$4,631.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 510	\$187,500.00	\$4,631.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 511	\$199,650.00	\$5,001.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 512	\$125,114.00	\$3,160.00	\$9,171,300.00	CONDOMINIUM
74434	SULOVSKI PAUL &	255 EVERNIA ST 513	\$78,650.00	\$2,061.00	\$85,500.00	CONDOMINIUM
74434	DEFINA ANGELA A	255 EVERNIA ST 514	\$58,945.00	\$790.00	\$10,000	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 515	\$110,473.00	\$2,835.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 516	\$131,769.00	\$3,307.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 517	\$137,000.00	\$3,416.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 518	\$125,000.00	\$3,128.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 519	\$90,000.00	\$2,286.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 520	\$115,500.00	\$3,083.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 601	\$93,170.00	\$2,564.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 602	\$137,000.00	\$3,416.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 603	\$120,000.00	\$3,008.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 604	\$275,000.00	\$6,772.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 605	\$137,500.00	\$3,428.00	\$101,700.00	CONDOMINIUM
74434	2010 CONDO LLC	255 EVERNIA ST 606	\$266,200.00	\$6,627.00	\$9,171,300.00	CONDOMINIUM
74434	MONSA LLC	255 EVERNIA ST 607	\$130,000.00	\$3,248.00	\$180,000.00	CONDOMINIUM

74434	SHATSKOFF ANDRE &	255 EVERNIA ST 608	\$183,000.00	\$4,523.00	\$205,000.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 609	\$190,000.00	\$4,691.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 610	\$180,000.00	\$4,450.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 611	\$190,000.00	\$4,691.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 612	\$190,000.00	\$4,691.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 613	\$202,978.00	\$5,074.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 614	\$128,442.00	\$3,234.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 615	\$81,675.00	\$2,130.00	\$9,171,300.00	CONDOMINIUM
74434	PWB INVESTMENT GROUP	255 EVERNIA ST 616	\$87,500.00	\$2,226.00	\$132,000.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 617	\$113,801.00	\$2,909.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 618	\$148,000.00	\$3,681.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 619	\$162,800.00	\$4,279.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 620	\$127,500.00	\$3,188.00	\$9,171,300.00	CONDOMINIUM
74434	MARGOLIAS BRETT	255 EVERNIA ST 621	\$92,500.00	\$2,346.00	\$340,621.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 622	\$118,250.00	\$3,148.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 623	\$115,000.00	\$2,887.00	\$9,171,300.00	CONDOMINIUM
74434	SOUTH BROCKTON	255 EVERNIA ST 624	\$120,000.00	\$3,008.00	\$9,171,300.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 701	\$122,500.00	\$3,068.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 702	\$139,500.00	\$3,476.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 703	\$122,500.00	\$3,068.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 704	\$280,500.00	\$6,901.00	\$19,328,700.00	CONDOMINIUM
74434	CARDONE NANCY	255 EVERNIA ST 705	\$140,000.00	\$3,367.00	\$470,200.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 706	\$285,000.00	\$6,901.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 707	\$132,500.00	\$3,308.00	\$19,328,700.00	CONDOMINIUM
74434	AISSA WALID BEN &	255 EVERNIA ST 708	\$185,500.00	\$4,583.00	\$544,200.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 709	\$192,500.00	\$4,751.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 710	\$182,500.00	\$4,511.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 711	\$192,500.00	\$4,751.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 712	\$192,500.00	\$4,751.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 713	\$214,500.00	\$5,284.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 714	\$134,000.00	\$3,344.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 715	\$90,000.00	\$2,286.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 716	\$90,000.00	\$2,286.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 717	\$123,000.00	\$3,080.00	\$19,328,700.00	CONDOMINIUM

74434	MELROSE CAMERFORD	255 EVERNIA ST 718	\$150,000.00	\$3,729.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 719	\$165,550.00	\$4,343.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 720	\$130,000.00	\$3,248.00	\$19,328,700.00	CONDOMINIUM
74434	SZTULMAN LUCIANO &	255 EVERNIA ST 721	\$95,000.00	\$2,406.00	\$73,000.00	CONDOMINIUM
74434	ZAVARELLA NELSON	255 EVERNIA ST 722	\$121,000.00	\$3,212.00	\$105,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 723	\$117,500.00	\$2,947.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 724	\$122,500.00	\$3,068.00	\$19,328,700.00	CONDOMINIUM
74434	MALAGIC EDVIN	255 EVERNIA ST 801	\$112,543.00	\$1,814.00	\$157,000.00	CONDOMINIUM
74434	EVANS DARRYL R	255 EVERNIA ST 802	\$126,942.00	\$2,148.00	\$10.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 803	\$125,000.00	\$3,128.00	\$19,328,700.00	CONDOMINIUM
74434	DAVIES LYNN C	255 EVERNIA ST 804	\$290,000.00	\$6,081.00	\$350,000.00	CONDOMINIUM
74434	FLETCHER MIYOUNG	255 EVERNIA ST 805	\$142,500.00	\$3,549.00	\$155,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 806	\$286,000.00	\$7,029.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 807	\$135,000.00	\$3,368.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 808	\$188,000.00	\$4,643.00	\$19,328,700.00	CONDOMINIUM
74434	PELLETIER RAYMOND	255 EVERNIA ST 809	\$195,000.00	\$4,811.00	\$300,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 810	\$185,000.00	\$4,571.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 811	\$195,000.00	\$4,811.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 812	\$195,000.00	\$4,811.00	\$19,328,700.00	CONDOMINIUM
74434	PRINCE PATRICIA M TRUST	255 EVERNIA ST 813	\$209,633.00	\$5,222.00	\$100.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 814	\$136,500.00	\$3,404.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 815	\$180,000.00	\$4,450.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 816	\$125,500.00	\$3,140.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 817	\$152,500.00	\$3,789.00	\$19,328,700.00	CONDOMINIUM
74434	COMMENDATORE JOSEPH	255 EVERNIA ST 818	\$168,300.00	\$4,407.00	\$520,900.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 819	\$132,500.00	\$3,308.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 820	\$97,500.00	\$2,467.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 821	\$123,750.00	\$3,276.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 822	\$120,000.00	\$3,008.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 823	\$125,000.00	\$3,128.00	\$19,328,700.00	CONDOMINIUM
74434	YACENDA FILLMORE	255 EVERNIA ST 901	\$123,890.00	\$2,087.00	\$181,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 902	\$144,500.00	\$3,597.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 903	\$127,500.00	\$3,188.00	\$19,328,700.00	CONDOMINIUM
74434	LEMP PETER	255 EVERNIA ST 904	\$232,035.00	\$4,687.00	\$10.00	CONDOMINIUM

74434	CHEN YUXIANG	255 EVERNIA ST 905	\$145,000.00	\$3,609.00	\$150,000.00	CONDOMINIUM
74434	LANDERYOU SUSAN	255 EVERNIA ST 906	\$223,710.00	\$4,487.00	\$707,400.00	CONDOMINIUM
74434	BAYONA RODOLFO &	255 EVERNIA ST 907	\$117,794.00	\$3,103.00	\$378,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 908	\$190,500.00	\$4,703.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 909	\$197,500.00	\$4,871.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 910	\$187,500.00	\$4,631.00	\$276,000.00	CONDOMINIUM
74434	DUNNE CHERYL	255 EVERNIA ST 911	\$197,500.00	\$4,871.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 912	\$197,500.00	\$4,871.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 913	\$220,000.00	\$5,412.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 914	\$139,000.00	\$3,464.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 915	\$182,500.00	\$4,511.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 916	\$128,000.00	\$3,200.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 917	\$155,000.00	\$3,849.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 918	\$171,050.00	\$4,471.00	\$532,000.00	CONDOMINIUM
74434	WILK HARVEY P &	255 EVERNIA ST 919	\$135,000.00	\$3,368.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 920	\$100,000.00	\$2,527.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 921	\$126,500.00	\$3,340.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 922	\$122,500.00	\$3,068.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 923	\$127,500.00	\$3,188.00	\$19,328,700.00	CONDOMINIUM
74434	RADD DONALD TRUST	255 EVERNIA ST 1001	\$106,480.00	\$2,737.00	\$10.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1002	\$272,160.00	\$5,530.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1003	\$147,000.00	\$3,535.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1004	\$272,160.00	\$5,530.00	\$379,000.00	CONDOMINIUM
74434	FELDER ROBERT &	255 EVERNIA ST 1005	\$147,500.00	\$3,547.00	\$142,000.00	CONDOMINIUM
74434	CACERES ANA O	255 EVERNIA ST 1006	\$292,820.00	\$7,095.00	\$917,999.00	CONDOMINIUM
74434	WATERS KERMIT L	255 EVERNIA ST 1007	\$140,000.00	\$2,352.00	\$161,101.00	CONDOMINIUM
74434	SKROBECK SHEILA B	255 EVERNIA ST 1008	\$193,000.00	\$4,641.00	\$202,500.00	CONDOMINIUM
74434	BURDETT FRED	255 EVERNIA ST 1009	\$200,000.00	\$4,809.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1010	\$190,000.00	\$4,569.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1011	\$200,000.00	\$4,809.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1012	\$200,000.00	\$4,809.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1013	\$222,500.00	\$5,350.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1014	\$141,500.00	\$3,403.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1015	\$185,000.00	\$4,449.00	\$19,328,700.00	CONDOMINIUM

74434	MELROSE CAMERFORD	255 EVERNIA ST 1016	\$130,500.00	\$3,138.00	\$19,328,700.00	CONDOMINIUM
74434	EARL WILLIAM H III	255 EVERNIA ST 1017	\$157,500.00	\$3,787.00	\$205,000.00	CONDOMINIUM
74434	WHITNEY ROBERT &	255 EVERNIA ST 1018	\$173,800.00	\$4,414.00	\$508,217.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1019	\$137,500.00	\$3,306.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1020	\$102,500.00	\$2,465.00	\$19,328,700.00	CONDOMINIUM
74434	PARENT MICHEL	255 EVERNIA ST 1021	\$129,250.00	\$3,283.00	\$138,000.00	CONDOMINIUM
74434	LOUWERS JAMES &	255 EVERNIA ST 1022	\$130,000.00	\$3,126.00	\$464,900.00	CONDOMINIUM
74434	HENSKE ALBERT T TRUST	255 EVERNIA ST 1023	\$130,000.00	\$3,126.00	\$140,000.00	CONDOMINIUM
74434	DERKUNT ISMAIL &	255 EVERNIA ST 1101	\$132,500.00	\$3,186.00	\$126,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1102	\$149,500.00	\$3,595.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1103	\$134,500.00	\$3,234.00	\$19,328,700.00	CONDOMINIUM
74434	HENRY MICHELE L	255 EVERNIA ST 1104	\$171,837.00	\$3,118.00	\$535,250.00	CONDOMINIUM
74434	COX CHRISTOPHER J &	255 EVERNIA ST 1105	\$124,449.00	\$3,128.00	\$660,000.00	CONDOMINIUM
74434	MITNICK SADIE &	255 EVERNIA ST 1106	\$182,610.00	\$3,377.00	\$115,000.00	CONDOMINIUM
74434	MCELHINEY MICHELLE L	255 EVERNIA ST 1107	\$202,500.00	\$4,869.00	\$220,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1108	\$202,500.00	\$4,869.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1109	\$192,500.00	\$4,629.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1110	\$202,500.00	\$4,869.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1111	\$202,500.00	\$4,869.00	\$19,328,700.00	CONDOMINIUM
74434	KNAPP JOHN &	255 EVERNIA ST 1112	\$186,000.00	\$4,473.00	\$208,000.00	CONDOMINIUM
74434	GERACI DAMIANO	255 EVERNIA ST 1113	\$191,400.00	\$4,630.00	\$311,600.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1114	\$191,400.00	\$4,630.00	\$19,328,700.00	CONDOMINIUM
74434	MILLER BRYCE	255 EVERNIA ST 1115	\$115,797.00	\$2,831.00	\$363,377.00	CONDOMINIUM
74434	REDL ERIC	255 EVERNIA ST 1116	\$207,500.00	\$4,990.00	\$275,000.00	CONDOMINIUM
74434	SYLECO INC	255 EVERNIA ST 1117	\$140,000.00	\$3,367.00	\$135,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1118	\$105,000.00	\$2,525.00	\$19,328,700.00	CONDOMINIUM
74434	WPARI LLC	255 EVERNIA ST 1119	\$132,000.00	\$3,347.00	\$250,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1120	\$127,500.00	\$3,066.00	\$19,328,700.00	CONDOMINIUM
74434	THUDEN NICKLAS K &	255 EVERNIA ST 1121	\$132,500.00	\$3,186.00	\$135,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1201	\$135,000.00	\$3,246.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1202	\$137,000.00	\$3,294.00	\$19,328,700.00	CONDOMINIUM
74434	SINGER MARK &	255 EVERNIA ST 1203	\$137,000.00	\$3,294.00	\$199,000.00	CONDOMINIUM
74434	ORBE LAWRENCE F	255 EVERNIA ST 1204	\$277,000.00	\$6,661.00	\$340,000.00	CONDOMINIUM
74434	DUNNE PRISCILLA	255 EVERNIA ST 1205	\$277,000.00	\$6,661.00	\$10.00	CONDOMINIUM

74434	FOWLER ROSEMARY	255 EVERNIA ST 1206	\$127,776.00	\$3,202.00	\$345,900.00	CONDOMINIUM
74434	FOSS ILIA &	255 EVERNIA ST 1207	\$198,000.00	\$4,761.00	\$0.00	CONDOMINIUM
74434	FINNEGAN STEPHEN	255 EVERNIA ST 1208	\$205,000.00	\$4,930.00	\$221,000.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1209	\$195,000.00	\$4,689.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1210	\$205,000.00	\$4,930.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1211	\$205,000.00	\$4,930.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1212	\$183,000.00	\$4,401.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1213	\$129,000.00	\$3,102.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1214	\$180,000.00	\$4,328.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1215	\$137,000.00	\$3,294.00	\$160,000.00	CONDOMINIUM
74434	MCADAMS KATHRYN	255 EVERNIA ST 1216	\$179,300.00	\$4,542.00	\$448,900.00	CONDOMINIUM
74434	SINGH BODWATTIE	255 EVERNIA ST 1217	\$130,448.00	\$2,122.00	\$330,900.00	CONDOMINIUM
74434	FITZPATRICK JOAN M	255 EVERNIA ST 1218	\$107,500.00	\$2,585.00	\$279,900.00	CONDOMINIUM
74434	RESNICK FLOYD	255 EVERNIA ST 1219	\$134,750.00	\$3,411.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1220	\$130,000.00	\$3,126.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1221	\$88,444.00	\$1,112.00	\$303,000.00	CONDOMINIUM
74434	MASCOLA MICHAEL	255 EVERNIA ST 1301	\$137,500.00	\$3,306.00	\$145,500.00	CONDOMINIUM
74434	GREENE GARY	255 EVERNIA ST 1302	\$154,500.00	\$3,837.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1303	\$2,549.00	\$94,750.00	\$10.00	CONDOMINIUM
74434	SERRA EMANUEL &	255 EVERNIA ST 1304	\$101,615.00	\$1,551.00	\$634,900.00	CONDOMINIUM
74434	HARRIS LYNDIA J	255 EVERNIA ST 1305	\$167,523.00	\$3,014.00	\$582,400.00	CONDOMINIUM
74434	SHUGAR GERALD R &	255 EVERNIA ST 1306	\$131,104.00	\$3,398.00	\$120,000.00	CONDOMINIUM
74434	ANDERSEN WESLEY P &	255 EVERNIA ST 1307	\$200,500.00	\$4,821.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1308	\$207,500.00	\$4,990.00	\$230,000.00	CONDOMINIUM
74434	BONDI MANAGEMENT LLC	255 EVERNIA ST 1309	\$197,500.00	\$4,749.00	\$429,900.00	CONDOMINIUM
74434	LAPOLLA JOHN	255 EVERNIA ST 1310	\$197,500.00	\$4,749.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1311	\$207,500.00	\$4,990.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1312	\$185,500.00	\$4,461.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1313	\$131,500.00	\$3,162.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1314	\$182,500.00	\$4,389.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1315	\$139,500.00	\$3,354.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1316	\$161,800.00	\$2,876.00	\$590,000.00	CONDOMINIUM
74434	ALI AHAMAD &	255 EVERNIA ST 1317	\$145,000.00	\$3,487.00	\$200,000.00	CONDOMINIUM
74434	RONCAL INVESTMENT LLC	255 EVERNIA ST 1318	\$110,000.00	\$2,645.00	\$277,400.00	CONDOMINIUM
74434	ROLAND-ORTIZ TONI L					

74434	MELROSE CAMERFORD	255 EVERNIA ST 1319	\$137,500.00	\$3,475.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1320	\$132,500.00	\$3,186.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1321	\$137,500.00	\$3,306.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1401	\$140,000.00	\$3,367.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1402	\$157,000.00	\$3,775.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1403	\$142,000.00	\$3,415.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1404	\$287,000.00	\$6,901.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1405	\$287,000.00	\$6,901.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1406	\$134,431.00	\$3,350.00	\$132,500.00	CONDOMINIUM
74434	ARIAS DIEGO &	255 EVERNIA ST 1407	\$203,000.00	\$4,881.00	\$575,709.00	CONDOMINIUM
74434	RANKOVIC VLADIMIR	255 EVERNIA ST 1408	\$210,000.00	\$5,050.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1409	\$200,000.00	\$4,809.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1410	\$210,000.00	\$5,050.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1411	\$210,000.00	\$5,050.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1412	\$188,000.00	\$4,643.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1413	\$131,769.00	\$3,307.00	\$360,000.00	CONDOMINIUM
74434	ALI AHAMAD &	255 EVERNIA ST 1414	\$185,000.00	\$4,571.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1415	\$142,000.00	\$3,537.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1416	\$184,800.00	\$4,793.00	\$320,000.00	CONDOMINIUM
74434	MANCUSO MICHAEL	255 EVERNIA ST 1417	\$138,600.00	\$2,440.00	\$142,000.00	CONDOMINIUM
74434	ELLIOTT GRANT A	255 EVERNIA ST 1418	\$112,500.00	\$2,827.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1419	\$140,250.00	\$3,662.00	\$333,900.00	CONDOMINIUM
74434	BARRETT CARMEN P	255 EVERNIA ST 1420	\$135,000.00	\$3,368.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1421	\$119,790.00	\$3,154.00	\$299,900.00	CONDOMINIUM
74434	HILLEL LESLIE T	255 EVERNIA ST 1501	\$123,118.00	\$3,106.00	\$10.00	CONDOMINIUM
74434	TAM LIVING TRUST	255 EVERNIA ST 1502	\$159,500.00	\$3,957.00	\$0.00	CONDOMINIUM
74434	SIMON ROBERT D	255 EVERNIA ST 1503	\$144,500.00	\$3,597.00	\$200,000.00	CONDOMINIUM
74434	MCADAMS KATHRYN	255 EVERNIA ST 1504	\$292,000.00	\$7,144.00	\$589,900.00	CONDOMINIUM
74434	ENGELS GULDEN DOROTHY	255 EVERNIA ST 1505	\$292,000.00	\$7,144.00	\$482,850.00	CONDOMINIUM
74434	ST BARNABUS ROAD LLC	255 EVERNIA ST 1506	\$137,759.00	\$3,545.00	\$10.00	CONDOMINIUM
74434	MULVEY KEELYN &	255 EVERNIA ST 1507	\$205,500.00	\$5,064.00	\$310,000.00	CONDOMINIUM
74434	GRATTENDICK MICHAEL	255 EVERNIA ST 1508	\$212,500.00	\$5,064.00	\$497,900.00	CONDOMINIUM
74434	HAVEMEYER CHRISTIAN	255 EVERNIA ST 1509	\$202,500.00	\$4,991.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1510	\$212,500.00	\$5,232.00	\$19,328,700.00	CONDOMINIUM

74434	MELROSE CAMERFORD	255 EVERNIA ST 1511	\$212,500.00	\$5,232.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1512	\$190,500.00	\$4,703.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1513	\$136,500.00	\$3,404.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1514	\$187,500.00	\$4,631.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1515	\$144,500.00	\$3,597.00	\$19,328,700.00	CONDOMINIUM
74434	MELROSE CAMERFORD	255 EVERNIA ST 1516	\$187,550.00	\$4,857.00	\$186,000.00	CONDOMINIUM
74434	KRASS ELLEN	255 EVERNIA ST 1517	\$150,000.00	\$3,729.00	\$336,900.00	CONDOMINIUM
74434	REDL ERIC H	255 EVERNIA ST 1518	\$115,000.00	\$2,887.00	\$1.00	CONDOMINIUM
74434	CHISHOLM MARK	255 EVERNIA ST 1519	\$165,000.00	\$4,090.00	\$240,000.00	CONDOMINIUM
74434	ZYWIEC DAVID	255 EVERNIA ST 1520	\$137,500.00	\$3,428.00	\$176,000.00	CONDOMINIUM
74434	MARX JOERG	255 EVERNIA ST 1521	\$123,118.00	\$3,228.00	\$159,000.00	CONDOMINIUM
74434	PARLATO TODD B &	TOTAL	\$45,417,167.00	\$1,199,222.00		
		AVERAGE ASSESSED:	\$320,969.38	\$8,475.07		

Used for Parcel #3 comparative

analysis

(90,000 SF) commercial space \approx \$170/sf assessed